

**COMMUNITY PRESERVATION COMMITTEE
TOWN OF NEEDHAM, MASSACHUSETTS**

**Minutes of Public Hearing
March 9, 2016**

PRESENT: Gary Crossen - Chair, Reg Foster, Peter Oehlkers, Paul Alpert, Chris Gerstel, Mark Gluesing

ABSENT: Lita Young – Vice Chair, Robert Boder, Ron Furman

STAFF: Patricia Carey, Staff Liaison
Kristen Wright, Recording Secretary

GUEST: Michael Greis, School Committee Representative
Lee Newman, Director of Community Housing and Planning
Edward Olsen, Superintendent of Parks and Forestry
Matthew Varrell, Director of Conservation
Richard Merson, Director of Public Works
Matthew Toolan, Vice-Chairman of Park and Recreation Commission
(*See Appendix A for more guest names*)

Mr. Crossen called the public hearing to order at 7:30PM in Powers Hall at Town Hall.

Public Hearing - Project Presentations: Questions from Public

FY2016-2 Community Housing Specialist - Liaison – Mark Gluesing

This request is for \$60,000 in continued funding for the Community Housing Specialist position, requested under Community Housing.

Mr. Crossen introduced Community Housing and Planning Director Lee Newman. Ms. Newman shared her presentation of this application including funding history for this position, the major responsibilities of the Community Housing Specialist, and examples of 2015 activities (*See Appendix B for the full presentation*). Mr. Crossen welcomed questions or comments from the Committee and then the public. Mark Oberle asked how many affordable units there were in Needham. Ms. Newman stated that there were currently 898 affordable units and the number is expected to increase to 1398 in FY 2017. Mr. Crossen thanked Ms. Newman for her presentation.

FY2016-3 Memorial Park Drainage Phase 1 – Liaison – Peter Oehlkers

This request is for \$490,500 in funds for Phase 1 of the drainage system at Memorial Park, requested under Recreation.

Mr. Crossen introduced Superintendent of Parks and Forestry Edward Olsen. Mr. Olsen presented the history of this project including a photo of flooding at Memorial Park (*See Appendix C*). Mr. Olsen stated that last year Town Meeting allocated approved CPC funds for the design phase of this project. Mr. Olsen presented the cost estimates (*See Appendix D*) and designs from Environmental Concepts (*See Appendix E*). Mr. Olsen will review a revised cost estimate with CPC, and will seek to reduce the amount of funds requested for Phase One. The concept of this project is to capture more of the water from heavy rains at the base of the hill at Memorial Park before it gets to the fields. The synthetic turf fields drain well, but in heavy rains, the water passes over it and settles in the natural grass 90' diamond which can cause disease. The increased capacity at the base of the hill would then divert water to chambers under the parking lot and slowly discharge into the water table. Phase 1 of this

project is anticipated to start right after the 4th of July and be completed before the end of the summer. Mr. Crossen welcomed questions or comments from the Committee and then the public. Mr. Oberle asked who originally designed the new High School and field drainage system and if it was a design oversight. Mr. Olsen stated that it was not a design flaw. At the time of the school and fields project, storm water wasn't in the fore front of the design. Mr. Crossen thanked Mr. Olsen for his presentation.

FY2016-4 Trails – Student Conservation Association – Liaison – Gary Crossen

This request is for \$25,000 in funds to use SCA to complete various trail improvements, requested under Open Space and Recreation.

Mr. Crossen introduced Director of Conservation Matthew Varrell. Mr. Varrell shared this presentation of his application including highlights from work completed in 2015 that was funded by CPC and Town Meeting last year, proposed projects for the next two years, and the main issues to consider for this request (*See Appendix F for the full presentation*). Mr. Crossen welcomed questions and comments from the Committee and then the public and no questions or comments were presented. Mr. Crossen thank Mr. Varrell for his presentation.

FY2016-5 Conservation Fund – Liaison – Reg Foster

This request is for \$50,000 to be transferred from the Community Preservation Fund to the Conservation Fund for use of Open Space acquisitions, requested under Open Space.

Mr. Varrell shared his presentation of this application including the history of the Trust Fund, past uses of the Trust Fund, and an example of how the Trust Fund can be used in the future (*See Appendix G for the full presentation*). Mr. Crossen welcomed questions and comments from the Committee and then the public. Resident Mary Ann MacMahon asked if the Conservation Fund has any other funding sources. Mr. Varrell stated that there is no other consistent funding source other than the return on investments. Some donations have been made in the past, but nothing on an annual basis. Mr. Crossen thanked Mr. Varrell for his presentation.

FY2016-6 Rosemary Lake Sediment Removal - Design – Liaison – Paul Alpert

This request is for \$118,000 in design funds to remove sediment that has been building up at Rosemary Lake from Rosemary Brook and Sportsman's Pond, requested under Open Space.

Mr. Crossen introduced Director of Public Works Richard Merson. Mr. Merson shared his presentation of this application including the history of the project, the sources of the sediment, and the objective of this project (*See Appendix H*). Mr. Merson stated that this project has been in the making for the last 45 years. In the 1970s Rosemary Lake was classified as a category 5 water body and deemed unsafe to swim due to the quality of water in which created Rosemary Pool. The sediment at the bottom of Rosemary Lake comes from road run off and other residential pollutants. Over the past several years, the DPW has been working on Rosemary Brook to ensure the water entering Rosemary Lake is clean and no longer adding to the built up sediment. Projects have included moving all homes within one mile radius of Rosemary Lake connected to Town sewer, , dredging Sportsman's Pond, containing storm water run-off from down town, and High School and Library, and a natural drainage from Lake Drive area into Rosemary Lake. Mr. Crossen welcomed questions and comments from the Committee and then the public and no questions were presented. Mr. Crossen thanked Mr. Merson for his presentation.

FY2016-7 Rosemary Recreation Complex - Liaison – Gary Crossen

This request is for \$550,000 design funds for the Rosemary Recreation Complex project, requested under Recreation.

Mr. Crossen introduced Vice-Chairman of the Park and Recreation Commission Matthew Toolan. Mr. Toolan shared his presentation of this application including the guiding principles of the project, timeline, major cost factors, pool location, and the preliminary design for the pool, building, and parking (*See Appendix I for the full presentation*). Mr. Crossen welcomed questions or comments from the Committee and then the public. Mr. Oberle stated that the previous item was in regards to removing sediment from the lake and asked if the goal was to coordinate the two projects to potentially save money.. Mr. Toolan stated that coordinating the two projects would be the goal. Mr. Oberle asked what the current estimate for construction is on this project. Mr. Toolan stated that the project is currently estimated \$12 - \$15 million. Mr. Oberle asked why there are two pools if one cannot meet the swim team standards. Mr. Toolan stated that the pool that the swim team would use does meet competitive swimming standards, but the indoor options that they had tried to create at the Rosemary location, could not accommodate the swim team and was therefore taken off the table. Mr. Oberle asked why the complex building would include more Town offices. Mr. Toolan stated that the Town Manager asked for this option to be considered. The Park and Recreation Commission was presented with 3 options and where the complex needed a building for seasonal use regardless and there was a desire to have a multi-use space for programming, the best option included Town offices for the Park and Recreation department and a second Town department. Mr. Crossen added the office component would not be eligible for CPC funding. Community Center of Needham member Maddie Mollerus stated that she loved seeing the plans and designs for the new Rosemary being alumni of the Needham Sharks swim team, past swim lesson participant, and excited for the memories that future participants and residents will have at this new complex. Resident Alex Putprush stated that he grew up at Rosemary Pool and thinks the new design is a great idea and thinks that it will be a part of great childhood memories like his. Resident Ellen Dudley works in real estate and stated that the new Rosemary Complex will be an asset to this Town and the value of real estate in Needham. Nancy Sterling of the Community Center of Needham stated that the CCN has been advocating for this project for 5 years and is delighted with the proposed complex. Ms. Sterling asked that if the office space element was removed, would that affect the recreation multi-purpose space. Mr. Toolan stated that the Commission chose to move forward with the option that included both the office and recreation space. If we were asked to remove a portion of this design, it would have to be fully reviewed. Resident Justin Ochalla stated that his family has gone out of town to Hale Reservation for swimming and thinks that this would be a great option so his family could stay in Needham to swim. A resident stated that she is very supportive of this project and thinks that this facility will be a great equalizer and great asset to the Town. Tom Mullerus stated that when he was here two years ago to discuss this project with the Park and Recreation Commission there were many concerns about the new pool not being accessible or priced accordingly. This presentation seems to meet many of the main concerns and he believes that it will be a great asset to our future. Parent Jo-Anne Ochalla shared excitement about the pool and the proposed features and potential future experiences, and stated that it would still cost \$2-3 million to do nothing. Resident Georgina Arneta-Ruetenik stated that having a place to swim is important for the Town. Community Preservation Committee member Paul Alpert asked what the timeline for construction would be if funding is approved. Mr. Toolan stated that the Town loses the permit to drain Rosemary Lake at the end of 2016. If funded, the design phase will be completed in late 2017 and funding for construction will be requested for the May 2018 Annual Town

Meeting. Park and Recreation will work with the Health Department to open the pool for the summer of 2017 without draining and begin construction in the Fall with expectation to open the new Complex for the summer 2018 season. Mr. Oberle asked how much the swim lessons are currently and if there is expected to be any large increase at the new facility. Ms. Carey stated that swim lessons are currently \$40 with a season pass for a two week session, to Rosemary and \$60 without a season pass.. Mr. Toolan stated that the season memberships and swim lessons are priced competitively. Mr. Crossen thanked Mr. Toolan for his presentation.

Adjournment of Public Hearing:

Mr. Gluesing made a motion to close the public hearing at 8:50PM. Mr. Gerstel seconded the motion and the public hearing was closed at 8:50PM. The public hearing was closed 6 – 0.

Chairman's Updates:

Mr. Crossen stated that he would attend next week's Finance Committee meeting with Ms. Young and Ms. Carey to consult on the projects under review.

Minutes: February 24, 2016:

Mr. Alpert made a motion to approve the minutes of the February 24, 2016 meeting and the motion was seconded by Mr. Gerstel. The minutes were approved.

Adjournment:

Mr. Alpert made a motion to adjourn the meeting at 9:00PM. Mr. Gerstel seconded the motion and the meeting adjourned at 9:00PM.

Respectfully submitted,

Kristen Wright,
Recording Secretary

DATE: March 9, 2016
Needham Community Preservation Committee Meeting

PLEASE SIGN IN

NAME	AFFILIATION	E-MAIL ADDRESS
Susanne Hess		susannehess@verizon.net
Dave DiCiccio		
Julie Blaga		julieblaga23@verizon.net
Ana Legan		
Tom Molleris		
JoAnne Ochalla		
Justin Ochalla		
Julia Ochalla		
Jonathan Ochalla		
Alex Potprush		
Talia Newfield		

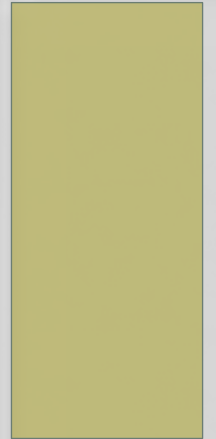
DATE: March 9, 2016
 Needham Community Preservation Committee Meeting

PLEASE SIGN IN

NAME	AFFILIATION	E-MAIL ADDRESS
Rich Reilly	Fin Com	rreilly15@comcast.net
Marylandale		mamalam.cool.com
Richard Vernon	Dept of Public Works	rvernon@needhamma.gov
Georgina Arreola-Ruetechnik	CCN (Community Center of Ndn)	georgina@sonaptandrehab.com
Susan Whalen	—	—
Amy Hurley	CCN	alhurley2@gmail.com
Kate Curfiss	Needham Sharks	needhamsharks@gmail.com
Macharia Wairiki	CCN	mwairiki24@gmail.com
Apost Angus		c736se@yahoo.com
Maddie Mollens	CCN	maddie@mollens.net
MAT Tolan	PMU & Lac	mttolan22@Gmail.com
Mark Oberle	Resident	mark.oberle28@gmail.com
Dan Harsen	Resident	bottlecheese@gmail.com
Emily Mollerur	Resident	Emily@mollerur.net

COMMUNITY PRESERVATION APPLICATION

COMMUNITY HOUSING SPECIALIST



FUNDING HISTORY

- FY2013 the Planning and Community Development Department received \$70,000 in CPA funding for the part-time position for 2 years.
- May 2015 Town Meeting provided \$17,000 to fund remainder of FY2016.
- Now requesting a combination of a general fund allocation and CPA funding for FY2017, 2018 and 2019, half from each fund.

MAJOR RESPONSIBILITIES

- Prepare and maintain an inventory of all affordable units and documents
- Monitor affordable housing units to preserve long-term affordability and intervene as appropriate (ex. resales)
- Conduct housing planning and feasibility studies
- Prepare and coordinate implementation of Town's Housing Strategy
- Work with housing stakeholders on housing initiatives or projects (ex. NHA)
- Provide technical support on housing programs, policies and projects
- Serve as representative to the West Metro HOME Consortium including the preparation of all required documents
- Answer inquiries, providing information and referrals
- Support efforts to market affordable units

EXAMPLES OF 2015 ACTIVITIES

- Coordinated the resale of 3 affordable units and refinancing of another
- Prepared the HUD Consolidated Plan for 2016-2020 and other required HOME documents
- Coordinated HOME funding for South St. group home
- Prepared a local Housing Strategy
- Provided documentation to add units to the SHI
- Conducted annual monitoring of affordable units
- Reviewed and commented on project documents including Marketing Plans for new affordable housing developments
- Prepared documentation for obtaining local preference approval for new affordable housing developments
- Updated affordable housing project database
- Provided information and referrals on affordable housing

EXAMPLES OF PRIORITY ACTIVITIES FOR 2016

- Conduct annual affordable unit monitoring and prepare reports
- Work with NHA on Linden-Chambers redevelopment
- Update demographic and housing profiles/Housing Needs Assessment
- Complete housing website
- Prepare annual HOME reports and attend meetings
- Implement key housing strategies (ex. Housing Trust)
- Prepare documentation for counting more units on SHI
- Coordinate any potential affordable unit resale or refinancing activities
- Continue to provide technical support regarding housing policies, programs and projects
- Continue answering public inquiries
- Support marketing activities for 2nd Avenue Residences and Greendale Mews





Town of Needham
Memorial Field Drainage Improvements
Preliminary Cost Estimate

1/6/2016

PHASE II

COLLECTOR TRENCH AT BASE OF SLOPE

PARKING LOT LEACHING FIELD AND DRAINAGE STRUCTURES

PAVING AND LINE STRIPING

Item No.	Item Description	Quantity	Units	Unit Cost	Subtotal
1	<u>Mobilization, Bonds, Insurance</u>	1	LS	\$10,000	<u>\$10,000</u>
2	<u>Site Preparation</u>				
	A. Saw-Cut Pavement	600	LF	\$2.00	\$1,200
	B. Erosion Control Barriers (Straw Wattles)	125	LF	\$5.00	\$625
	C. Stripping of Sod including Disposal	0	CY	\$20.00	\$0
	<u>Site Preparation Subtotal =</u>				<u>\$1,825</u>
3	<u>4' Wide Interceptor Trenches</u>				
	A. 15" HDPE Pipe	0	LF	\$75.00	\$0
	B. 8" Perforated Piping	0	LF	\$21.50	\$0
	C. 3/4" Pea Stone	0	CY	\$35.00	\$0
	D. Sand Borrow	0	CY	\$21.50	\$0
	E. Geotextile Filter Fabric	0	SY	\$2.65	\$0
	F. Earth Excavation for Interconnecting Trenches	0	CY	\$20.00	\$0
	G. Earth Excavation for Channels	190	CY	\$20.00	\$3,800
	H. Test Pits	10	CY	\$100.00	\$1,000
	<u>4' Wide Interceptor Trenches Subtotal =</u>				<u>\$4,800</u>
4	<u>Stormwater Management Work</u>				
	A. CCTV and Flushing of Existing Drains	0	LS	\$7,500.00	\$0
	B. Drainage Collection Channel	490	LF	\$110.00	\$53,900
	C. Concrete for Drainage Channel	35	CY	\$250.00	\$8,750
	D. Nyloplast Structures	0	EA	\$1,000.00	\$0
	E. Leaching Pits	0	EA	\$3,500.00	\$0
	F. Drain Manholes	4	EA	\$4,000.00	\$16,000
	G. HDPE Drain Pipe 12"	100	LF	\$60.00	\$6,000
	H. HDPE Drain Pipe 18"	300	LF	\$75.00	\$22,500
	I. Crushed Stone for 18" Pipe	240	CY	\$35.00	\$8,400
	J. Filter Fabric for 18" Pipe	500	SY	\$2.65	\$1,325
	K. Coring into Existing Structures	1	EA	\$1,000.00	\$1,000
	<u>Stormwater Management Work Subtotal =</u>				<u>\$117,875</u>
5	<u>Paving Work</u>				
	A. Berm	425	LF	\$8.00	\$3,400
	B. Pavement	110	TN	\$150.00	\$16,500
	C. Processed Gravel	150	CY	\$35.00	\$5,250
	D. Line Striping	4,000	LF	\$1.00	\$4,000
	<u>Paving Work Subtotal =</u>				<u>\$29,150</u>
6	<u>Restoration Work</u>				
	A. Loam	20	CY	\$35.00	\$700
	B. Seeding	300	SY	\$3.00	\$900
	C. Irrigation Plan Restoration	0	LS	\$10,000.00	\$0
	<u>Restoration Work Subtotal =</u>				<u>\$1,600</u>
	<u>Subtotal</u>				<u>\$165,250</u>
	<u>Construction Engineering (Bidding, Admin, Resident)</u>				<u>\$20,000</u>
	<u>Contingency 15%</u>				<u>\$24,788</u>
	Total				\$211,000

TOWN OF NEEDHAM, MASSACHUSETTS
DEPARTMENT OF PUBLIC WORKS
MEMORIAL FIELD DRAINAGE IMPROVEMENTS PHASE II
CONTRACT NO. 15DPW095D-2
JUNE 2016



BOARD OF SELECTMEN

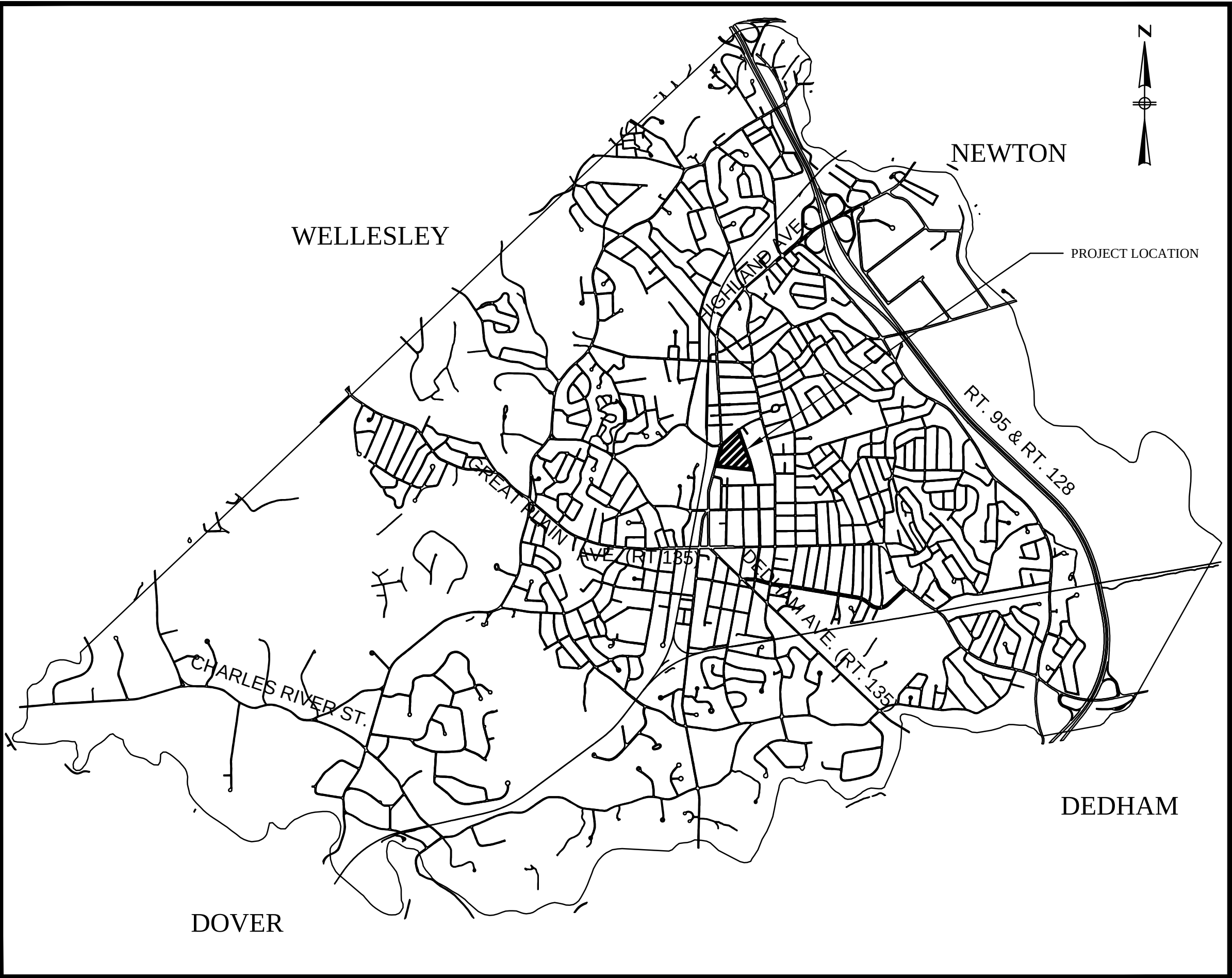
MAURICE P. HANDEL, CHAIRMAN
MATTHEW D. BORRELLI, VICE CHAIRMAN
MARIANNE B. COOLEY, CLERK
DANIEL P. MATTHEWS, MEMBER
JOHN A. BULIAN, MEMBER

TOWN MANAGER

KATHLEEN P. FITZPATRICK

DEPARTMENT OF PUBLIC WORKS

RICHARD P. MERSON, DIRECTOR
ANTHONY L. DEL GAIZO, P.E., TOWN ENGINEER
ED OLSEN, PARKS AND FORESTRY SUPERINTENDENT



LOCATION MAP
NOT TO SCALE

PLAN INDEX

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
	COVER SHEET
G-1	GENERAL NOTES AND LEGEND
C-1	EXISTING CONDITIONS PLAN
C-2	SITE AND PAVEMENT MARKING PLAN
C-3	TRENCH DRAIN SECTION VIEW
CD-1	CIVIL DETAILS I

GENERAL NOTES

1. BASE MAP FOR THIS PROJECT WAS DESIGNED BY GALE ASSOCIATES IN APRIL 2008 AND HAS BEEN SUPPLEMENTED WITH A FIELD INSTRUMENT SURVEY AND ADDITIONAL DESIGN WORK FROM ENVIRONMENTAL PARTNERS GROUP IN JANUARY 2015.
2. LOCATION OF UTILITIES SHOWN HEREON ARE FROM THE DEFAZIO PARK AND MEMORIAL FIELD PARK ATHLETIC FIELDS AND SITE IMPROVEMENTS PROJECT DESIGNED BY GALE ASSOCIATES IN APRIL 2008. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES.
3. APPROXIMATE PROPERTY LINES, BUILDINGS, ROADS AND DRIVEWAYS OUTSIDE OF THE SURVEYED AREA ARE TAKEN FROM GIS INFORMATION, AND THEIR LOCATIONS SHOULD BE CONSIDERED APPROXIMATE.
4. LOCATIONS OF ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION (DRAIN, SEWER, ETC.). IN ADDITION, THE CONTRACTOR SHALL CONTACT THE TOWN'S WATER AND SEWER DEPARTMENTS AND SCHEDULE A FIELD VISIT PRIOR TO EXCAVATION, IN ORDER TO SEE THE LOCATIONS OF THE PROPOSED SYSTEMS. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER FOR FIELD ASSESSMENT AND CONSIDERATION OF DESIGN ADJUSTMENT.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD DIMENSIONS AS NECESSARY.
6. THE INTENT OF THE DESIGN IS TO PROVIDE DRAINAGE IMPROVEMENTS IN SELECTED AREAS OF THE FIELD WITHOUT CHANGING THE EXISTING GRADES. DRAINAGE SYSTEMS ARE PROPOSED IN SELECTED AREAS THROUGHOUT THE FIELD.
7. PROPOSED GRATE & COVER ELEVATIONS ARE INTENDED TO REFLECT THE 1½" MODIFIED TOP BITUMINOUS CONCRETE OVERLAY.
8. ALL GRATES AND COVERS SHALL BE INSTALLED AND SET TO FINAL PROPOSED ELEVATIONS, AS SHOWN. THE CONTRACTOR SHALL INSTALL A TAR PAPER JOINT & BINDER PAVEMENT AT A MINIMUM 5' RADIUS AROUND ALL GRATES AND COVERS, OR AS DIRECTED BY THE ENGINEER. THE TAR PAPER JOINT AND BINDER PAVEMENT SHALL BE REMOVED NO SOONER THAN 3 DAYS PRIOR TO THE 1½" MODIFIED TOP BITUMINOUS CONCRETE OVERLAY INSTALLATION.
9. ANY NECESSARY FRAME AND GRATE AND FRAME AND COVER ADJUSTMENTS SHALL BE COMPLETED BY THE CONTRACTOR.
10. ALL DISTURBED AREAS SHALL BE RESTORED TO EXISTING CONDITIONS BY THE CONTRACTOR (LOAM & SEED, PAVEMENT, ETC.). AREAS OF PAVEMENT DISTURBED THAT ARE NOT WITHIN THE LIMITS OF PROPOSED BITUMINOUS CONCRETE OVERLAY SHALL BE RESTORED TO FULL DEPTH PAVEMENT BY THE CONTRACTOR.
11. TEST PITS TO LOCATE EXISTING UTILITIES MAY BE ORDERED BY THE ENGINEER TO DETERMINE WHETHER TO ALTER THE PROPOSED STORM DRAIN TO CLEAR EXISTING UTILITIES.
12. THE CONTRACTOR SHALL NOT STORE ANY APPARATUS, MATERIALS, SUPPLIES, OR EQUIPMENT ON DRAINAGE STRUCTURES OR PRIVATE PROPERTY.
13. NEW STORM DRAINS AND SERVICES SHALL BE INSTALLED AT THE MINIMUM DEPTH FROM FINISH GRADE TO TOP OF PIPE AS SHOWN ON THE DRAWINGS. WHERE NECESSARY.
14. ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS IN ADVANCE, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO ANY EXCAVATION.
15. DO NOT SCALE DRAWINGS UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS AND STATIONING SHALL PREVAIL. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
16. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
17. ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE TO REMAIN IN SERVICE.
18. THE CONTRACTOR AT NO ADDITIONAL COST TO THE TOWN SHALL REPAIR ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
19. ALL STRUCTURES AND PIPELINES LOCATED ADJACENT TO THE TRENCH EXCAVATION SHALL BE PROTECTED AND FIRMLY SUPPORTED BY THE CONTRACTOR UNTIL THE TRENCH IS BACKFILLED. DAMAGE TO ANY SUCH STRUCTURE CAUSED BY, OR RESULTING FROM, THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ALL UTILITIES REQUIRING REPAIR, RELOCATION OR ADJUSTMENT AS A RESULT OF THE PROJECT SHALL BE COORDINATED THROUGH THE RESPECTIVE UTILITY AND THE TOWN.
20. THE CONTRACTOR IS TO TAKE SPECIAL CARE NOT TO DAMAGE TREES, BUSHES, PLANTS, FLOWERS, STONEWALLS, FENCES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS THEY ARE NOTED TO BE REMOVED.
21. CONTRACTOR SHALL REMOVE AND REPLACE, OR REPAIR, ALL CURBS, SIDE WALKS, PAVEMENT AND OTHER ITEMS DAMAGED BY HIS CONSTRUCTION ACTIVITIES TO AT LEAST THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE TOWN AND ENGINEER.
22. OPEN TRENCHES MUST BE BACKFILLED AT THE END OF THE WORKDAY OR COVERED WITH STEEL PLATES.
23. THE LOCATION AND LIMITS OF ALL ON-SITE WORK AND STORAGE AREAS SHALL BE REVIEWED, COORDINATED WITH, AND ACCEPTABLE TO THE TOWN. THE CONTRACTOR SHALL LIMIT THEIR ACTIVITIES TO THESE AREAS.
24. ALL WATER RESULTING FROM TRENCH DEWATERING ACTIVITIES SHALL BE PROPERLY FILTERED PRIOR TO DISCHARGE. THE DISPOSAL OF FILTERED SOLIDS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
25. ALL HOPE PIPE SHALL BE INSTALLED AT A DEPTH OF NO LESS THAN 12" FROM THE BOTTOM OF FLEXIBLE PAVEMENT (BITUMINOUS CONCRETE ASPHALT), PER MANUFACTURER'S SPECIFICATIONS.
26. EXCAVATION SAFETY – ALL EXCAVATION MUST FOLLOW OSHA, MASSACHUSETTS, AND LOCAL REGULATIONS FOR SAFETY. ALL TRENCH EXCAVATION EXCEEDING 3 FEET OF DEPTH WILL REQUIRE A TRENCH PERMIT FROM THE TOWN PRIOR TO ANY EXCAVATION.
27. ADEQUATE PROTECTION OF PERSONS AND PROPERTY SHALL BE PROVIDED AT ALL TIMES. THE WORK SHALL BE EXECUTED IN SUCH A WAY AS TO AVOID HAZARD TO PERSONS AND PROPERTY. WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
28. PROVIDE ALL NECESSARY TEMPORARY PROTECTION AND BARRIERS TO SEGREGATE THE WORK AREA AND TO PREVENT DAMAGE TO ADJACENT AREAS, AS REQUIRED BY ALL JURISDICTION REGULATIONS.
29. PROVIDE PROPER PROTECTION AND BARRIERS BETWEEN THE WORK OF THIS CONTRACT AND EXISTING STRUCTURES TO REMAIN.

STORMWATER POLLUTION PREVENTION PLAN

- 1.0. DEMOLITION, SEDIMENTATION, AND EROSION CONTROL (STORMWATER POLLUTION PREVENTION PLAN):
 - 1.1. IMPLEMENT STANDARD EROSION AND SEDIMENT CONTROL PRACTICES PRIOR TO INITIATING EARTH DISTURBING ACTIVITIES, AND MAINTAIN THESE PRACTICES THROUGHOUT THE COURSE OF CONSTRUCTION. ALL CONSTRUCTION SHALL CONFORM TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED IN CONFORMANCE WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES (FEDERAL REGISTER PART 2, FEBRUARY 17, 1998)
 - 1.2. TYPICAL PRACTICES TO BE APPLIED TO THE SITE INCLUDE THE FOLLOWING:
 - A. PRIOR TO EARTH DISTURBANCE IN ANY WORK AREA, CHECK SILTATION BARRIERS BETWEEN THE WORK AREA AND THE CATCH BASIN TO WHICH IT DRAINS. EROSION CONTROL MEASURES WILL BE INSPECTED AND REPAIRED AS NEEDED WEEKLY OR FOLLOWING EACH MAJOR RAINFALL EVENT (GREATER THAN 2") WHICHEVER IS SOONER.
 - B. DISCHARGE WATER FROM DEWATERING OPERATIONS TO A TEMPORARY SILTATION TRAP OR SEDIMENTATION BASIN. ALL STOCKPILED MATERIAL (E.G. STRIPPED LOAM FOR REUSE) SHALL BE STABILIZED AND SURROUNDED BY EROSION CONTROLS.
 - C. PROVIDE TEMPORARY BERMS AND SWALES TO DIVERT SURFACE WATER AWAY FROM THE AREAS THAT WILL BE EXPOSED BY CONSTRUCTION ACTIVITY TO MINIMIZE THE AMOUNT OF SURFACE WATER COMING INTO CONTACT WITH EXPOSED SOILS. PROVIDE STABLE OUTLETS FOR THESE DEVICES, AND LINE OR VEGETATE THESE DIVERSIONS TO PROVIDE FOR THEIR STABILITY DURING CONSTRUCTION.
 - D. LIMIT THE EXTENT OF EXPOSED SOILS TO AREAS THAT CAN BE WORKED AND RESTABILIZED WITHIN THE CONSTRUCTION SEASON AND DURING THE SPECIFIC CONSTRUCTION PHASE.
 - E. WHEN EARTHWORK CONSTRUCTION ACTIVITY IN AN AREA IS COMPLETE, STABILIZE THE AREA WITH A SUITABLE SURFACE AS DESCRIBED BELOW.
 - F. EXISTING PAVED PARKING LOTS AND ROADWAYS ADJACENT TO THE SITE WILL BE SWEEPED BY A MOTORIZED STREET SWEEPER WEEKLY OR AS NEEDED TO REMOVE LOOSE SOIL MATERIALS THAT HAVE ACCUMULATED ON PAVED SURFACES. IN ADDITION TO THESE PRACTICES, THE CONTRACTOR SHALL FOLLOW THE SPECIAL PRACTICES DESCRIBED BELOW. COMPLIANCE WITH THE DIRECTIONS OF THE OWNER'S REPRESENTATIVE TO ADDRESS EROSION AND SEDIMENTATION CONDITIONS THAT MAY ARISE ON A CASE BY CASE BASIS DURING CONSTRUCTION.
- 2.0 THE FOLLOWING IS A DESCRIPTION OF MINIMUM CONSTRUCTION REQUIREMENTS AND DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITIES WITH REGARD TO DETERMINING THE ADEQUACY OF MEANS AND METHODS OF CONSTRUCTION.
- 2.1 MAINTENANCE:

DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED:

- A. SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATION ESTABLISHMENT.
- B. TEMPORARY DEWATERING SEDIMENTATION BASINS WILL BE CHECKED AFTER EACH SIGNIFICANT RAINFALL AND CLEANED AS NEEDED TO RETAIN STORAGE CAPACITY.
- C. ALL EROSION AND SEDIMENT CONTROL MEASURES/DEVICES SHALL BE INSPECTED, CLEANED, REPLACED AND/OR REPAIRED AS NECESSARY, WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL.
- D. FILTER BASKETS SHALL BE INSTALLED IN ALL CATCH BASINS RECEIVING RUNOFF FROM THE WORK DONE. SEDIMENT DEPOSITS SHALL BE REMOVED IF THE FABRIC BECOMES CLOGGED.

STORMWATER MANAGEMENT SYSTEMS

OPERATION AND MAINTENANCE INSTRUCTIONS

- 1.0. EROSION CONTROLS:
 - 1.1. CHECK INSTALLED EROSION CONTROLS PRIOR TO COMMENCEMENT OF THE EARTHWORK OPERATIONS.
 - 1.2. INSPECT EROSION CONTROLS IMMEDIATELY AFTER EACH STORM AND REMOVE ACCUMULATED SEDIMENT AS REQUIRED.
 - 1.3. REPLACE DAMAGED EROSION CONTROLS AS REQUIRED.
- 2.0. DEEP SUMP CATCH BASINS:
 - 2.1. CATCH BASINS ARE TO BE CLEANED WHEN SEDIMENT BUILDUP IS 18" ABOVE THE BOTTOM OF THE BASIN.
 - 2.2. BASINS ARE TO BE CLEANED FOUR TIMES PER YEAR AND INSPECTED ANNUALLY.
 - 2.3. DISPOSE OF THE ACCUMULATED SEDIMENT AND HYDROCARBONS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS.
- 3.0. OWNER INFORMATION:
 - 3.1. THE OWNER OF THE DRAINAGE SYSTEMS SHALL BE THE TOWN OF NEEDHAM.

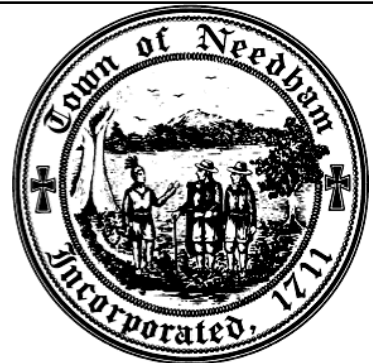
LEGEND

EXISTING

- TREE LINE
- 100--- CONTOUR LINE AND ELEVATION (MAJOR)
- CONTOUR LINE AND ELEVATION (MINOR)
- PROPERTY LINE/EASEMENT
- STOCKADE FENCE
- x — x — CHAIN LINK FENCE
- | — | — IRRIGATION LINE
- s — s — SEWER LINE
- ==||==||== DRAIN LINE
- w — w — WATER MAIN
- UNDER DRAIN
- CATCH BASIN
- SEWER/DRAIN MANHOLE
- ☼ SHRUB
- █████ WALKWAY
- [4 . . . 4] CONCRETE

PROPOSED

- | | |
|---|--------------------------------|
|  | DRAIN MANHOLE |
|  | 6" X 27.5" TRENCH DRAIN |
|  | 18" PERFORATED HDPE DRAIN PIPE |
|  | 12" HDPE DRAIN PIPE |
|  | STRAW WATTLES |
|  | CURBING |
|  | SAWCUT LIMITS |
|  | CRUSHED STONE LIMITS |
|  | LINE STRIPING |



Environmental  Partners
A partnership for engineering solutions. **GROUP**

			Scale	AS SHOWN
			Date	JUNE 2016
			Job No.	297-1403
			Designed by	JFB
			Drawn by	JFB
			Checked by	ZFK/AJR
MARK	DATE	DESCRIPTION	Approved by	SCO

THIS LINE IS ONE INCH
LONG WHEN PLOTTED
AT FULL SCALE ON A
22" X 34" DRAWING

MEMORIAL FIELD DRAINAGE IMPROVEMENTS
PHASE II
TOWN OF NEEDHAM, MASSACHUSETTS

GENERAL NOTES AND LEGEND

FOR REVIEW

Sheet No.

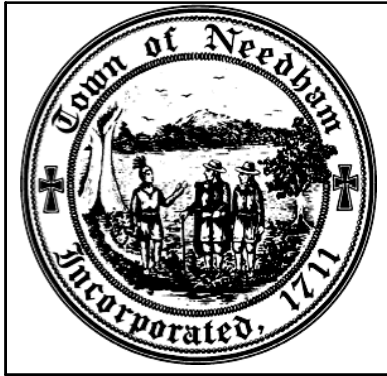
G-1

Drawing file: I:\Needham\297-Civil\Projects\297-1403 Memorial Field Drainage Improvements\Drawings\CAD\Final Design Plans (Phase 2).dwg Plot Date: Nov 23, 2015 2:41pm



NOTES:
1. CONTRACTOR SHALL REFER TO THE PHASE I PLANS AND RECORD DRAWINGS FOR ADDITIONAL WORK SCHEDULED FOR COMPLETION PRIOR TO PHASE II

PLAN
SCALE: 1"=40'



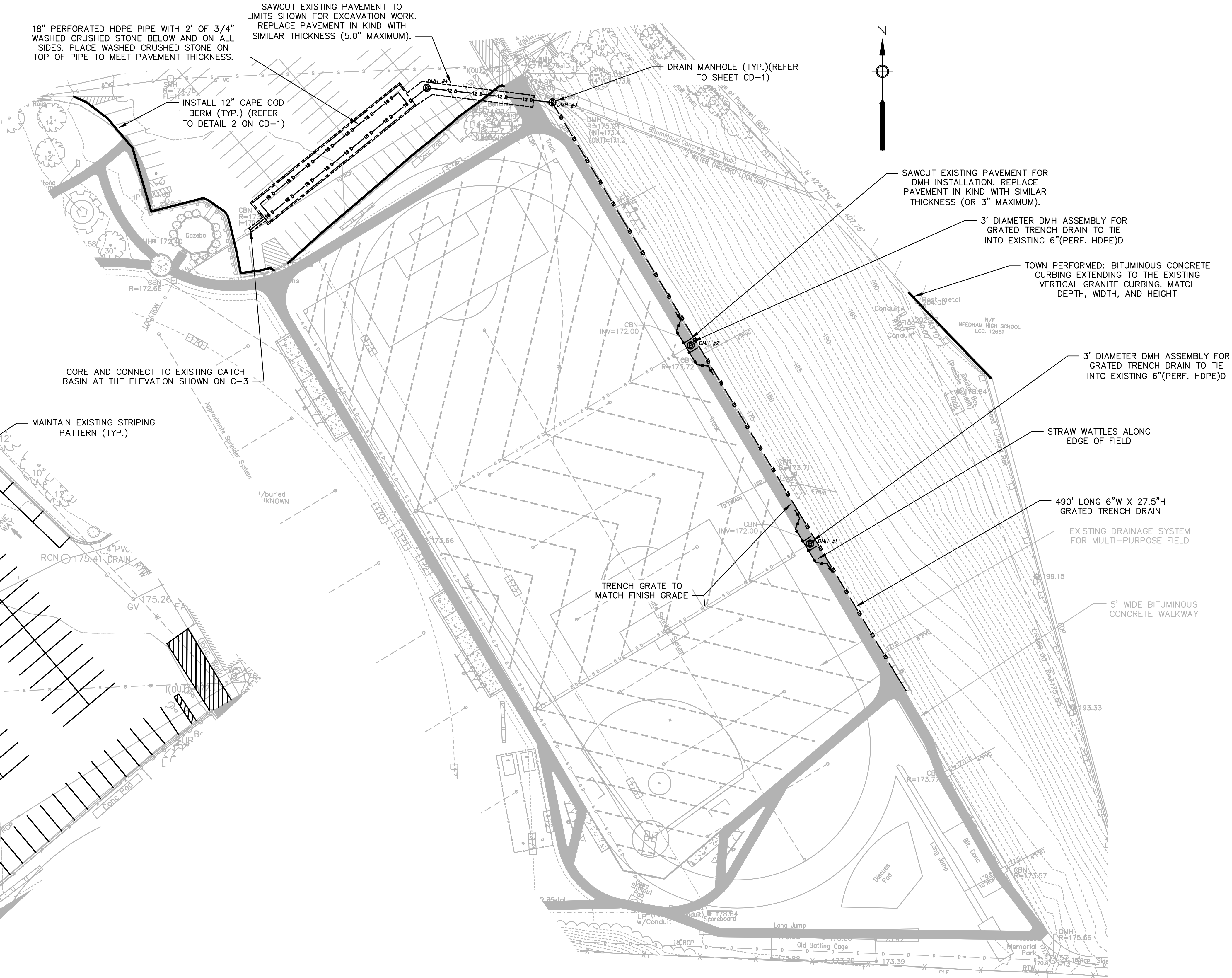
Environmental Partners

A partnership for engineering solutions.

GROUP

			Scale	AS SHOWN	THIS LINE IS ONE INCH LONG WHEN PLOTTED AT FULL SCALE ON A 22" X 34" DRAWING	MEMORIAL FIELD DRAINAGE IMPROVEMENTS PHASE II TOWN OF NEEDHAM, MASSACHUSETTS	FOR REVIEW
			Date	JUNE 2016			Sheet No.
			Job No.	297-1403			C-1
			Designed by	JFB			
			Drawn by	JFB			
			Checked by	ZFK	EXISTING CONDITIONS PLAN		
			Approved by	SCO			
MARK	DATE	DESCRIPTION					

- NOTES:
1. NO EQUIPMENT SHALL BE ALLOWED ON THE MULTI-PURPOSE FIELD TURF.
 2. CONTRACTOR SHALL PROTECT MULTI-PURPOSE FIELD TURF DURING TRENCH DRAIN AND DRAIN MANHOLE EXCAVATION AND INSTALLATION.
 3. CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CROSSINGS TO AVOID CONFLICTS.



PAVEMENT MARKINGS
SCALE: 1"=30'

PLAN
SCALE: 1"=40'



			Scale	AS SHOWN
			Date	JUNE 2016
			Job No.	297-1403
			Designed by	AJR/JFB
			Drawn by	JFB
			Checked by	ZFK
			Approved by	SCO
MARK	DATE	DESCRIPTION		

THIS LINE IS ONE INCH LONG WHEN PLOTTED AT FULL SCALE ON A 22" X 34" DRAWING

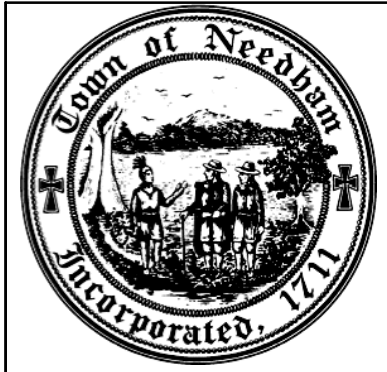
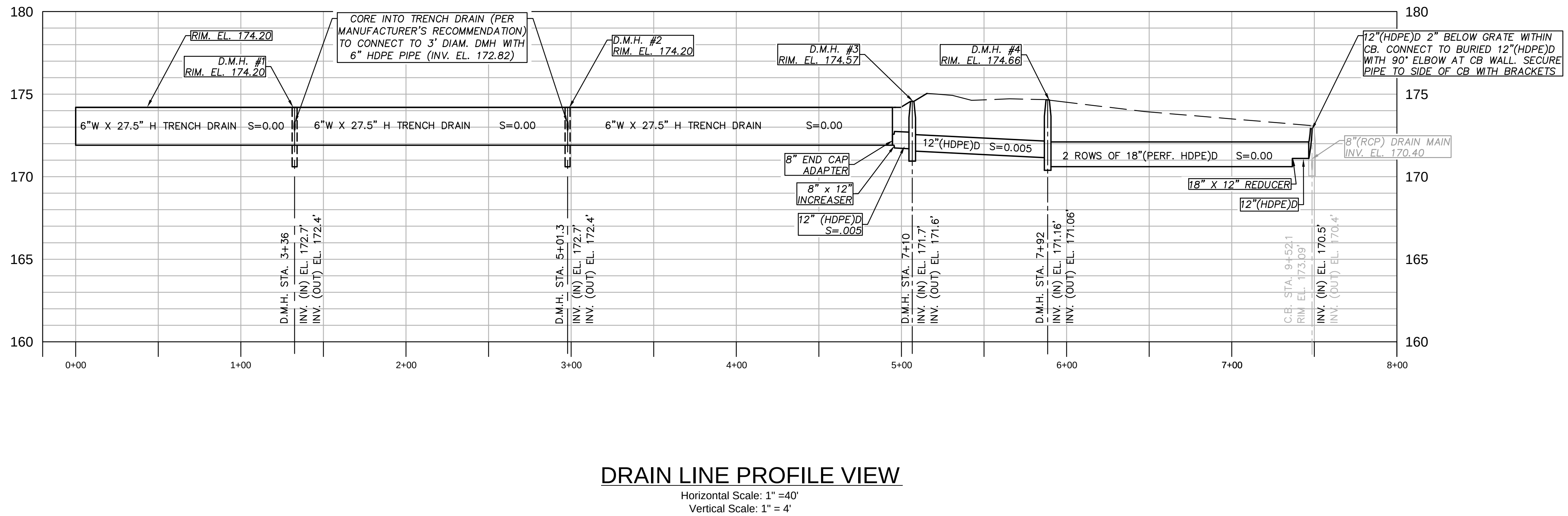
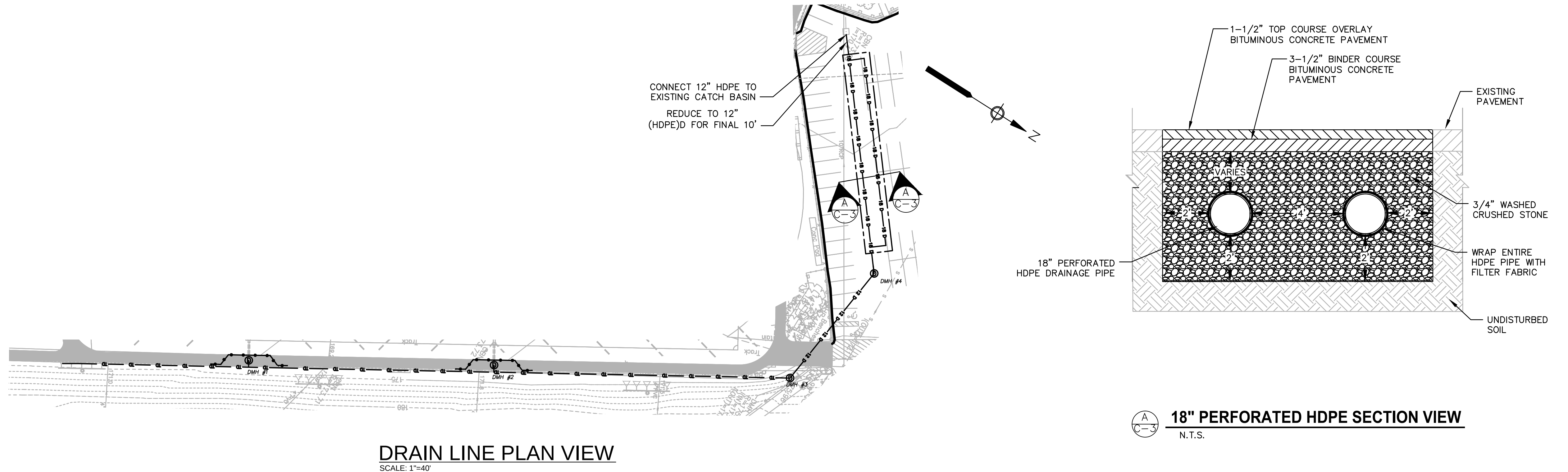
MEMORIAL FIELD DRAINAGE IMPROVEMENTS
PHASE II
TOWN OF NEEDHAM, MASSACHUSETTS

SITE AND PAVEMENT MARKING PLAN

FOR REVIEW
Sheet No.

C-2

Drawing file: I:\Needham\297\Civil\Projects\297-1403 Memorial Field Drainage Improvements\Drawings\CAD\Final Design Plans (Phase 2).dwg Plot Date: Nov 23, 2015 7:19pm



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			Scale	AS SHOWN
			Date	JUNE 2016
			Job No.	297-1403
			Designed by	AJR/JFB
			Drawn by	JFB
			Checked by	ZFK
			Approved by	SCO
MARK	DATE	DESCRIPTION		

THIS LINE IS ONE INCH LONG WHEN PLOTTED AT FULL SCALE ON A 22" X 34" DRAWING

MEMORIAL FIELD DRAINAGE IMPROVEMENTS
PHASE II
TOWN OF NEEDHAM, MASSACHUSETTS

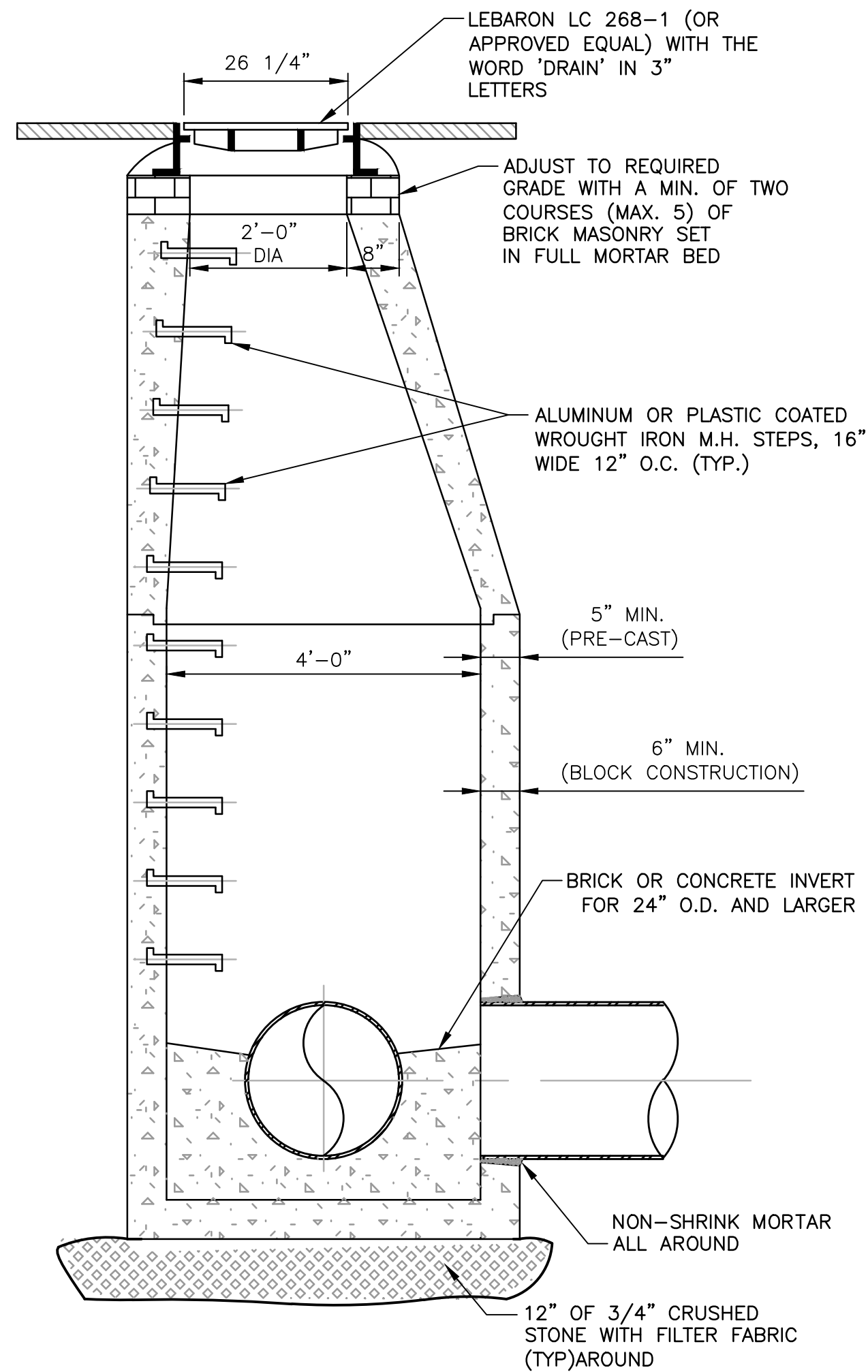
TRENCH DRAIN SECTION VIEW

FOR REVIEW

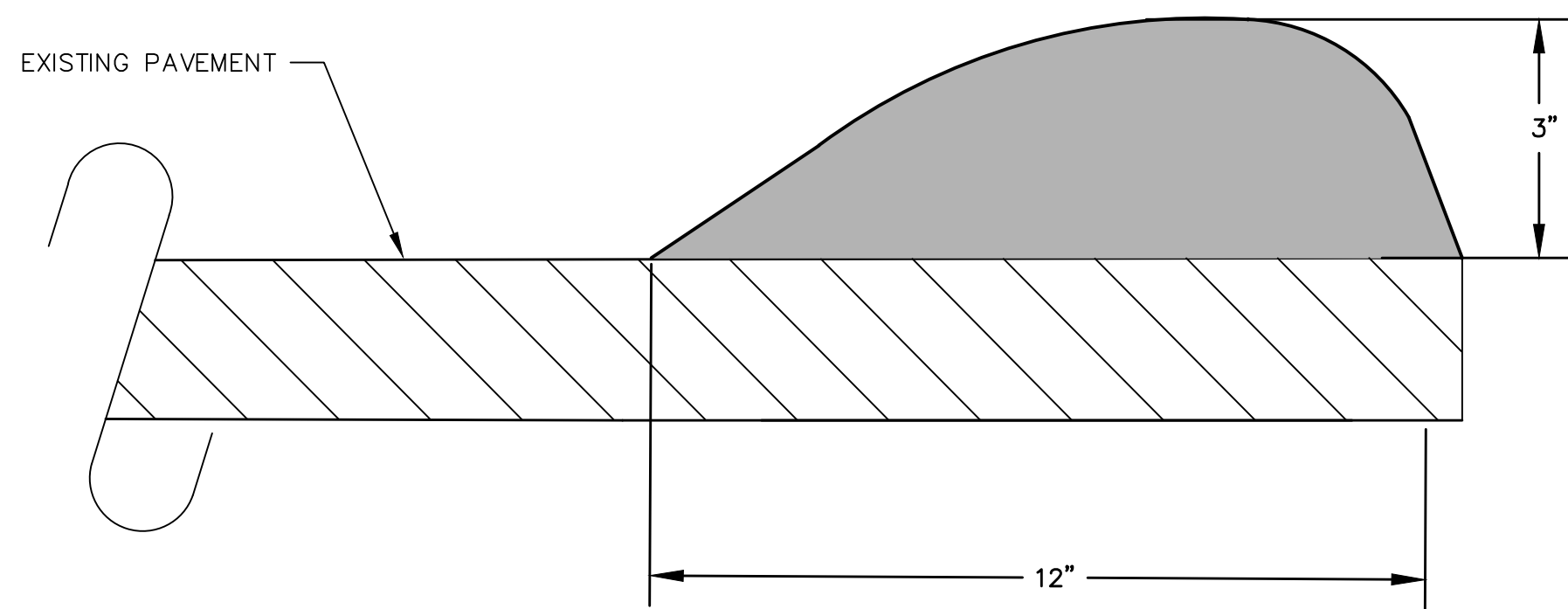
Sheet No.

C-3

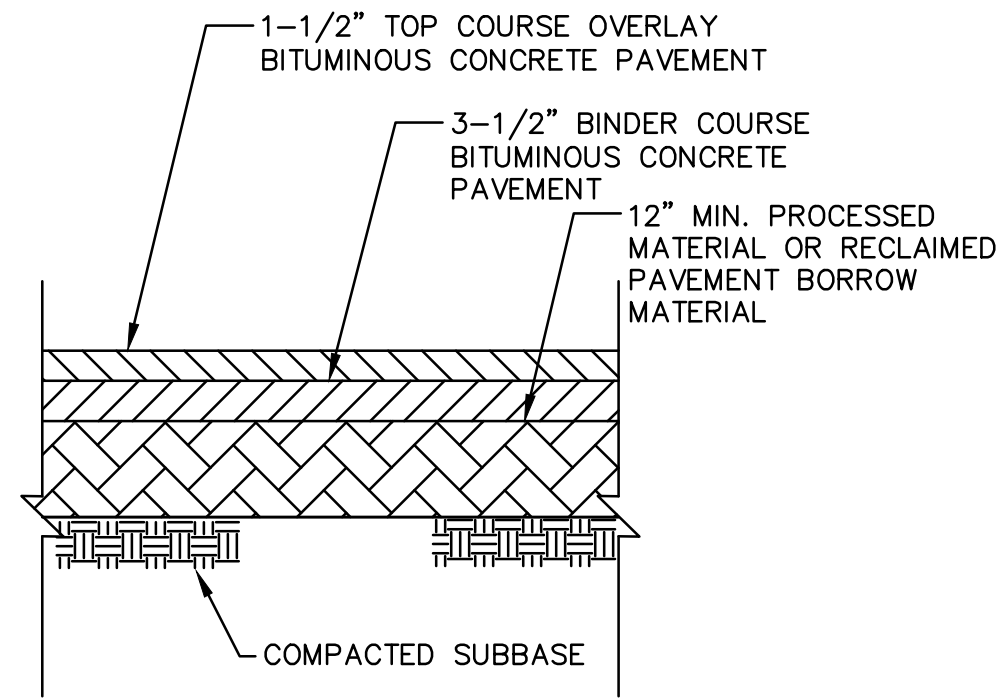
Drawing file: I:\Needham-297\Civil Projects\297-1403 Memorial Field Drainage Improvements\Drawings\CAD\Final Design Plans (Phase 2).dwg Plot Date: Nov 23, 2015 2:40pm



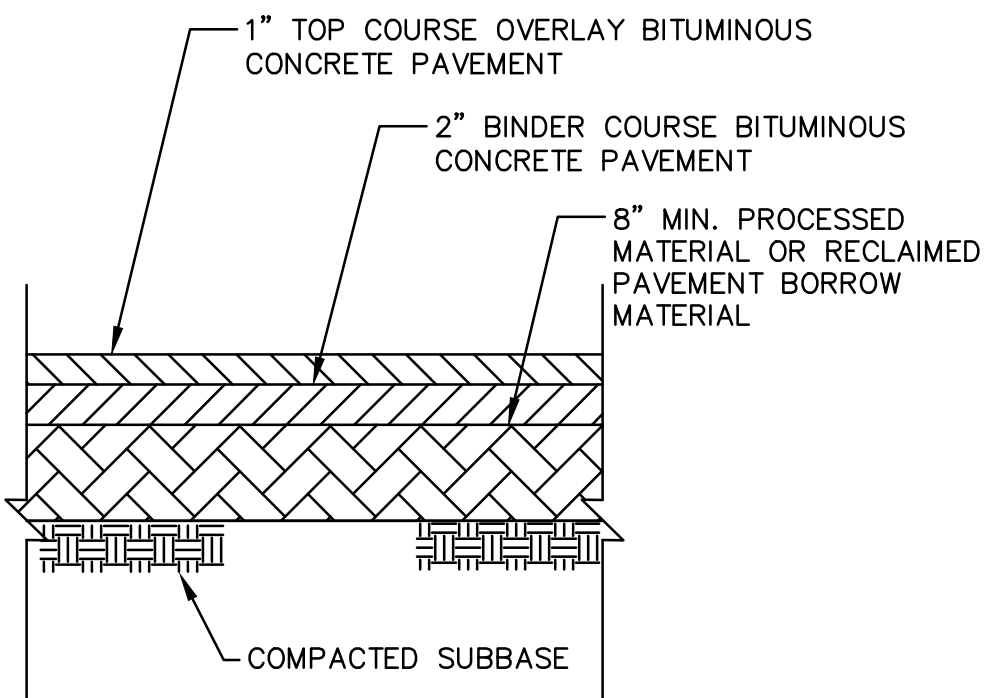
1 PRECAST CONCRETE DRAIN MANHOLE
N.T.S.



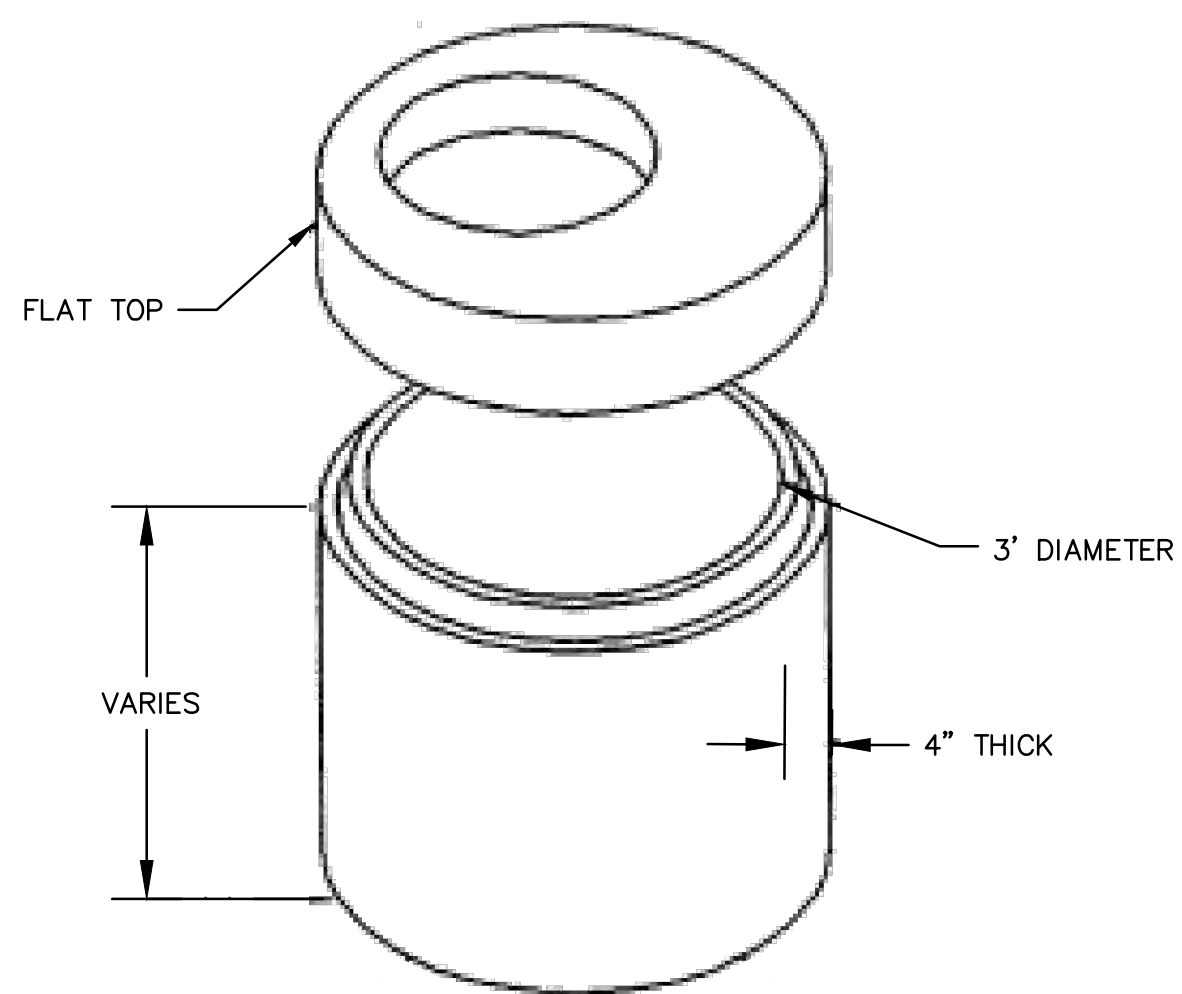
2 CAPE COD BERM
N.T.S.



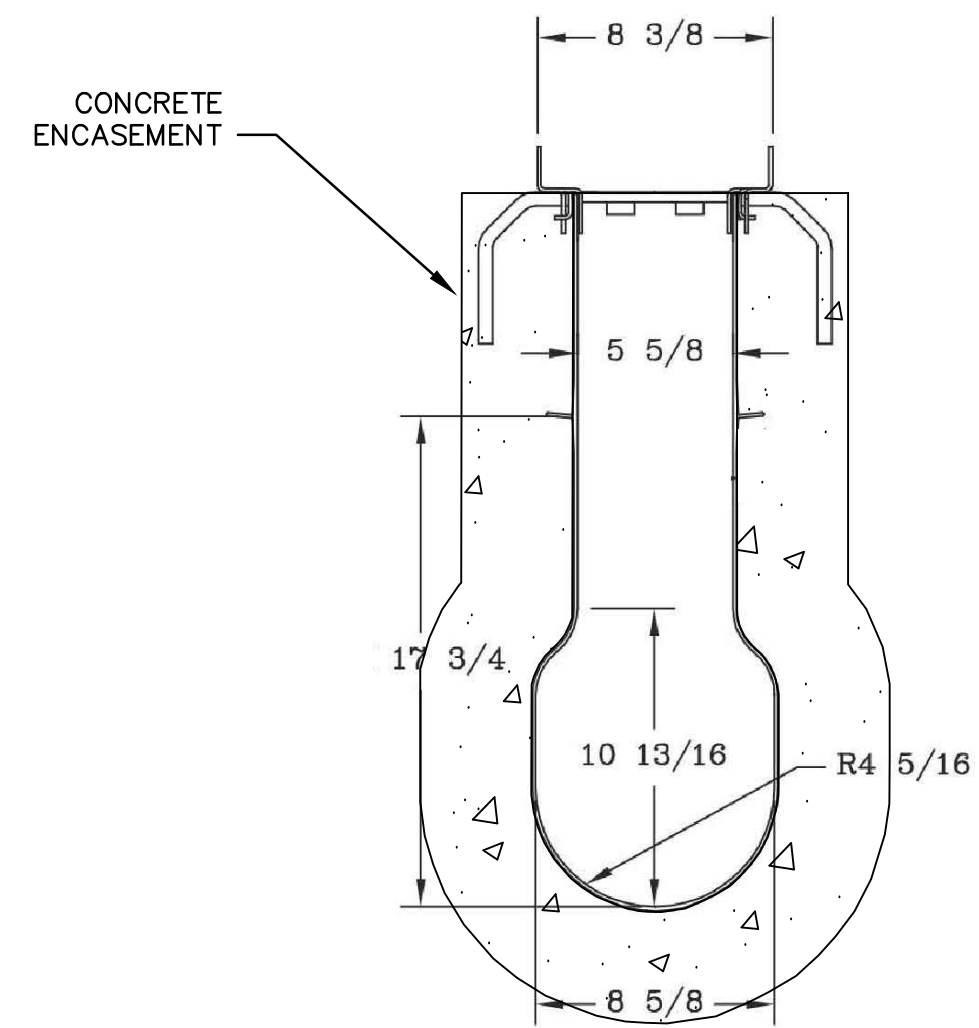
3 TRENCH PAVEMENT DETAIL
N.T.S.



4 PAVEMENT DETAIL (WALKWAY)
N.T.S.



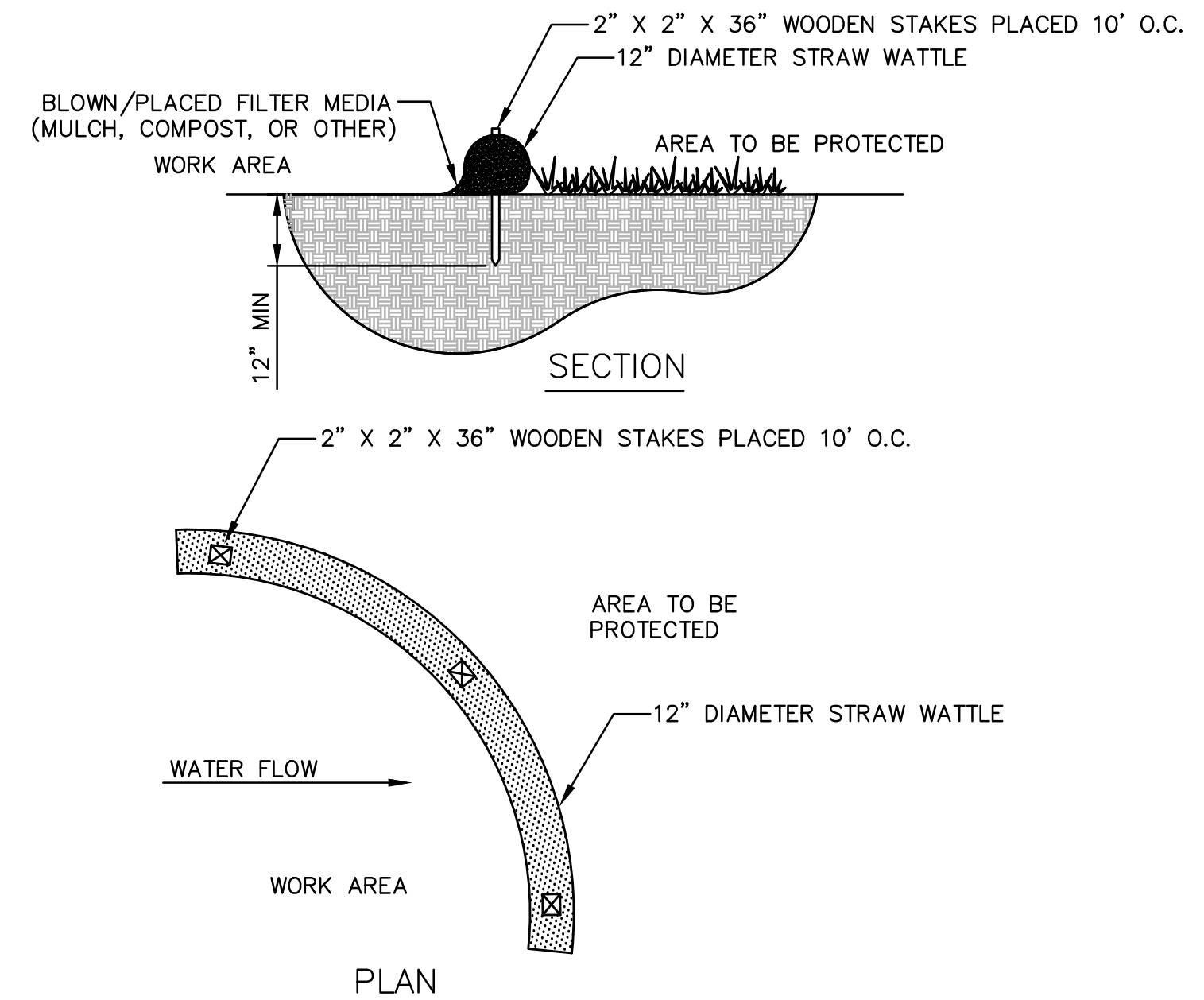
5 3' DIAMETER MANHOLE CUTSHEET
N.T.S.



6 6" X 27.5" 3000 SERIES TRENCH DRAIN BY TRENCH DRAIN SYSTEMS
N.T.S.

NOTES:

1. TRENCH DRAIN SHALL BE 3000 SERIES HIGH CAPACITY DRAIN CHANNEL AS MANUFACTURED BY TRENCH DRAIN SYSTEMS (OR APPROVED EQUAL)
2. TRENCH DRAIN SHALL BE CAST IN A 4" THICK CONCRETE ENCASEMENT ALONG ALL SIDES.
3. CONNECTIONS CORED INTO THE TRENCH DRAIN SHALL BE MADE IN THE VERTICAL SEGMENT OF THE TRENCH DRAIN WALL. ALL CORING SHALL TAKE PLACE PRIOR TO SETTING ANY CONCRETE.



7 STRAW WATTLE DETAIL
N.T.S.



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MEMORIAL FIELD DRAINAGE IMPROVEMENTS
PHASE II
TOWN OF NEEDHAM, MASSACHUSETTS

CIVIL DETAILS I

FOR REVIEW
Sheet No.

CD-1

Request for Funding Community Preservation Commission

Student Conservation Association
Funding for 2016 & 2017

March 2016

Who are SCA?

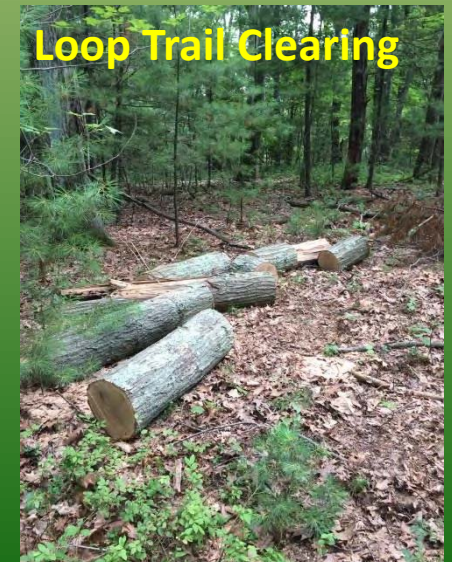
Affiliated with AmeriCorps

SCA MEMBERS ARE ...

- age 15 to young adults
- high school and college students, or recent graduates interested in green careers
- from all 50 states and from all socio-economic backgrounds
- SCA members protect, enhance, and restore national parks, marine sanctuaries, cultural landmarks, and urban green spaces across the United States. They serve year-round in programs lasting anywhere from two weeks to twelve months.



2015 Project Success

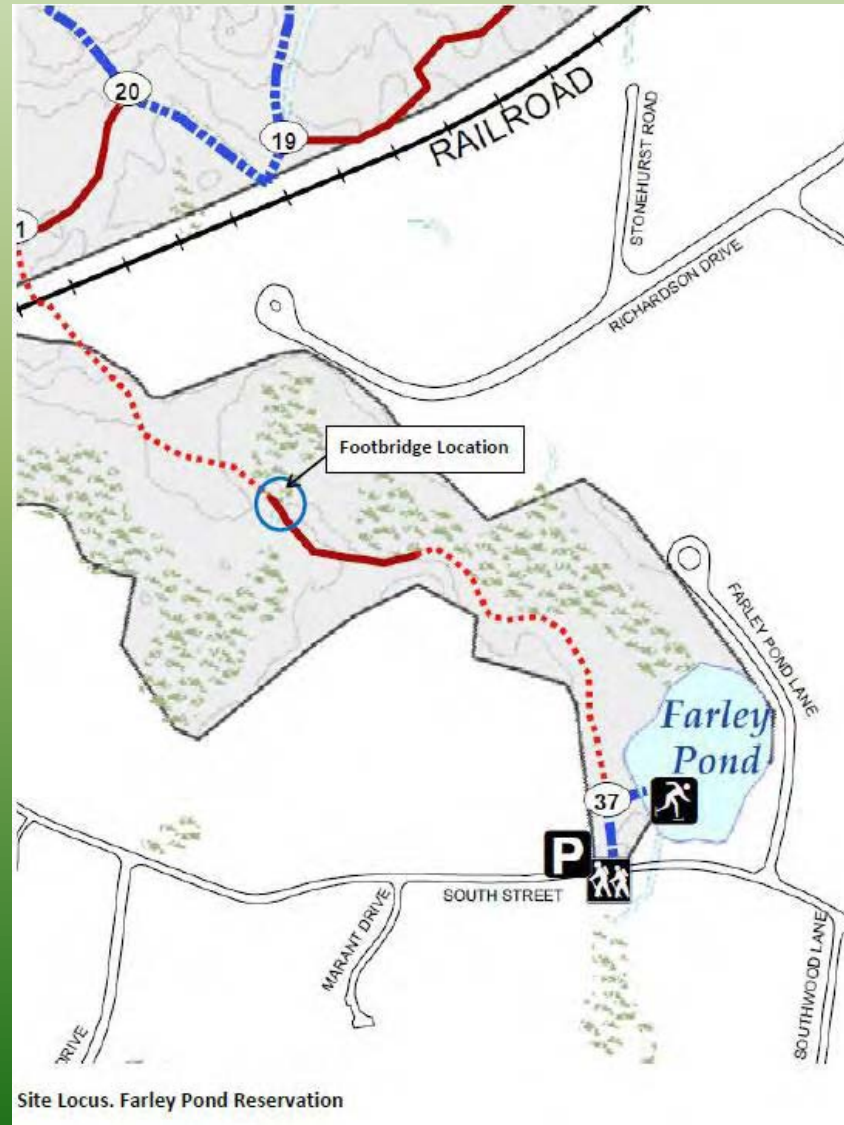


Proposed Projects

Year 1: Farley Pond Trail (part of Trails Master Plan)

- Footbridge construction (design/build)
- Trail Improvements
- Invasive plant removal
- Very similar to 2015 project

Farley Pond Footbridge



Proposed Projects

Year 2: TBA (possibilities: Rosemary Lake, Town Forest, Ridge Hill Fitness Trail)

- Priorities to be determined in consultation with Selectmen, Conservation Commission, Park & Recreation, and Parks & Forestry
- Further discussions with SCA for skillset

Farley Pond Trail Stream Crossing



SCA – Esker/Loop Connection

Ridge Hill Reservation



Considerations

- 10-day projects (summer 2016 & 2017)
- 2016 Cost - \$7,400 + materials
- 2017 Cost - ±\$7,600 + materials
- Accommodations – camping at Ridge Hill
- Competitive costs
- Benefits partner organization (SCA)
- Additional accomplishment of priority projects listed in Trails Master Plan

Request for Funding
Community Preservation
Commission

Needham Conservation Trust Fund

March 2016

Conservation Trust Fund

- Established as part of the Conservation Commission Act (M.G.L. Chapter 40, Section 8C) in 1957
- According to the legislation: “A city or town may appropriate money in any year to a conservation fund of which the treasurer shall be the custodian” and “money in said fund may be expended by said commission for any purpose authorized by this section; provided, however, that no expenditure for a taking by eminent domain shall be made unless such expenditure has been approved in accordance with this section.”
- The Conservation Commission views the Fund as a resource to fulfill its mission in the “promotion and development of the natural resources and for the protection of watershed resources,” which includes various tasks, including land preservation (through land or conservation restriction acquisition) and land management (including habitat restoration and establishment of trails).
- Invested by Town Treasurer in diversified portfolio with other Town Trust Funds, managed by professional investment firm.

Specific Uses of Trust Fund

Past uses of funds:

- Land purchases (290 Grove Street in 1999; Wiswall property in 2001)
- Kiosk construction – Ridge Hill (2012)
- Stone wall repair – Ridge Hill (2013)
- Access Gate installation – Ridge Hill (2014)
- Fuller Trail boardwalk design and construction (2015)

Specific Uses of Trust Fund

The Fund provides ability to be immediately responsive to land acquisition opportunities

- Anticipated Specific Costs related to land acquisition:
 - Appraisals - \$2,000-10,000
 - Survey and Record Plan Preparation - \$5,000-15,000
 - Legal Services (title search, etc.) - \$5,000-10,000
 - Environmental Site Assessment - \$2,500-25,000
 - Cost of “Option to Purchase” – highly variable depending on if there is competition to purchase

Current Request

- \$50,000 to fund the Conservation Trust Fund for **“future acquisition, creation and preservation of open space”**
- CPC awarded \$25,000 in 2009 and \$50,000 in 2010 for same purpose (when fund was below \$250K balance)
- Conservation Commission goal to keep the Trust Fund at a minimum balance of \$250,000
- Fund balance will be at \$202,736 after final payment on Fuller Trail project (not including loss/gain on investments)

Example

- A 25 acre parcel becomes available in June that is identified as a high priority for preservation by the Conservation Commission.
- Land is at risk for subdivision development that will negate important conservation value.
- Owner has investigated ability to develop and has been offered \$12.5 million for the land. Owner is also conservation oriented and offers to sell the land to the Town for a price of \$5 million.
- Using the Conservation Trust Fund, the Conservation Commission obtains a one-year “Option to Purchase” from the owner for \$50,000.
- During the Option period, the Commission conducts requisite due diligence, including appraisal, survey, title search, and environmental site assessment for a total cost of \$75,000.
- During the Option period, the Conservation Commission investigates funding sources from state grants and Town sources (including CPA).
- At the following spring Town Meeting, the Conservation Commission announces a \$1 million state grant has been obtained and successfully requests \$3.95 million from CPA funds.
- The Town completes the purchase of the land and it is permanently protected for the enjoyment of the residents of Needham as a passive recreational resource and important wildlife habitat in perpetuity.

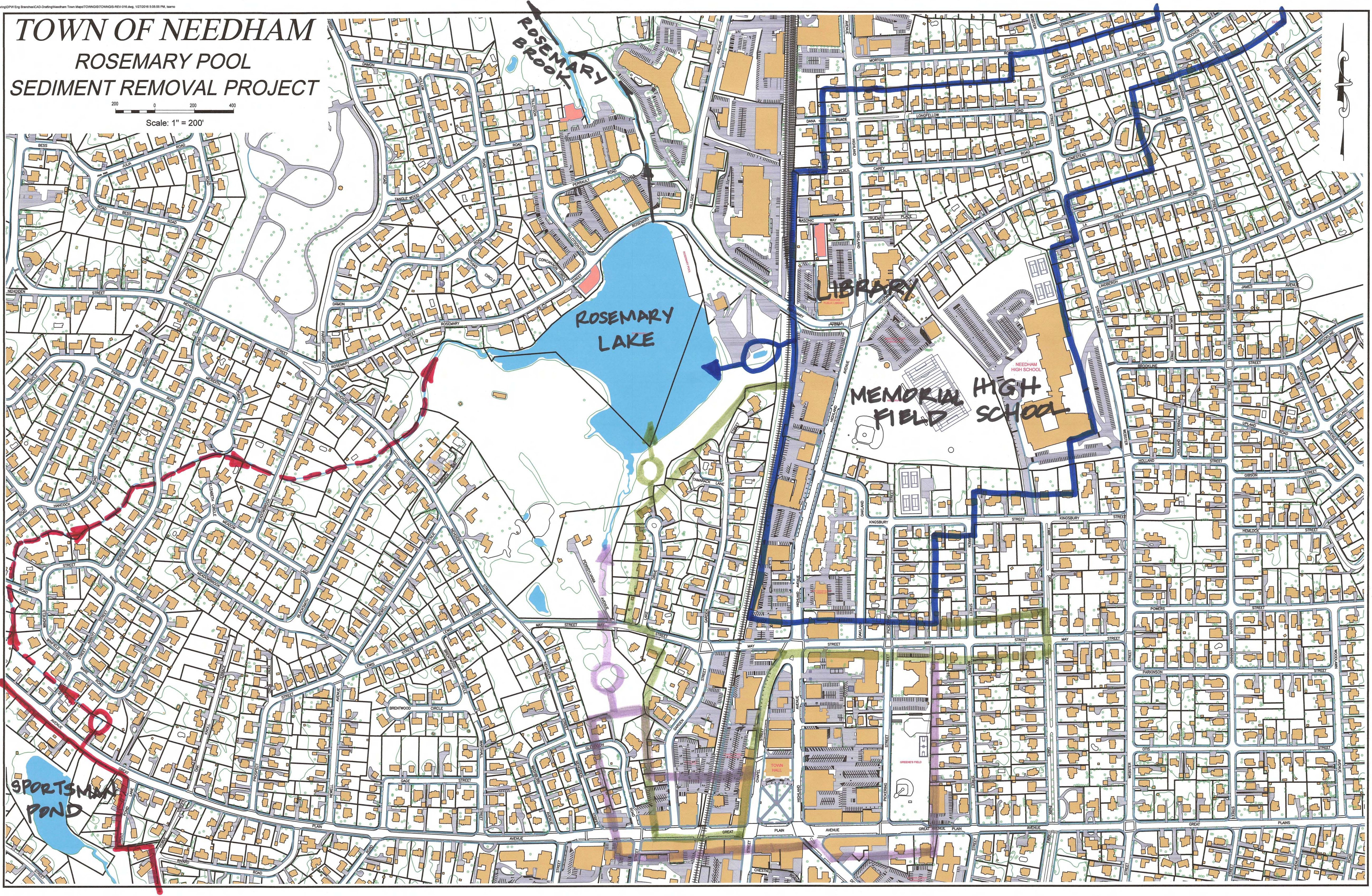
Thank you.

Questions.

TOWN OF NEEDHAM

ROSEMARY POOL SEDIMENT REMOVAL PROJECT

200 0 200 400
Scale: 1" = 200'







Rosemary
Recreation
Complex

GUIDING PRINCIPLES

- Build a pool that best meets the needs of the town
- Build a pool that can be maintained without draining the pond
- Reduce pool size to reflect municipal pool best practice, while supporting programming needs
- Understand best location for the pool
- Consider reuse of existing infrastructure where possible to control cost
- Incorporate year-round use of the site to bring more value

DESIGN TIMELINE

July 2015

Sept 2015

Oct 2015

Nov 2015

Apr 2016

BH & A
Selected

Preliminary
Options

Pool
Programming
Decided

Preliminary
Building & Site
Plan

Final Design &
Costs

Key Decisions and Inputs

- Selected BH & A based on experience and expertise in pool design
- Determined 2 pool option best suits programming needs, and meets current utilization best practices
- Evaluated indoor options – determined Rosemary site can't support it
- Elevate the pool out of the lake
- Drive year-round usage with new building with bathhouse, programming space, and town offices

MAJOR PROJECT COST FACTORS

Pool

Size
Usage
Amenities
Location
Filtration

Building

Size
Usage
Codes &
Regulation
Reuse/Rebuild

Parking

Access
of Spaces
Location

Site

Excavation
Permitting
Drainage
Safety

Ongoing Operations and Maintenance

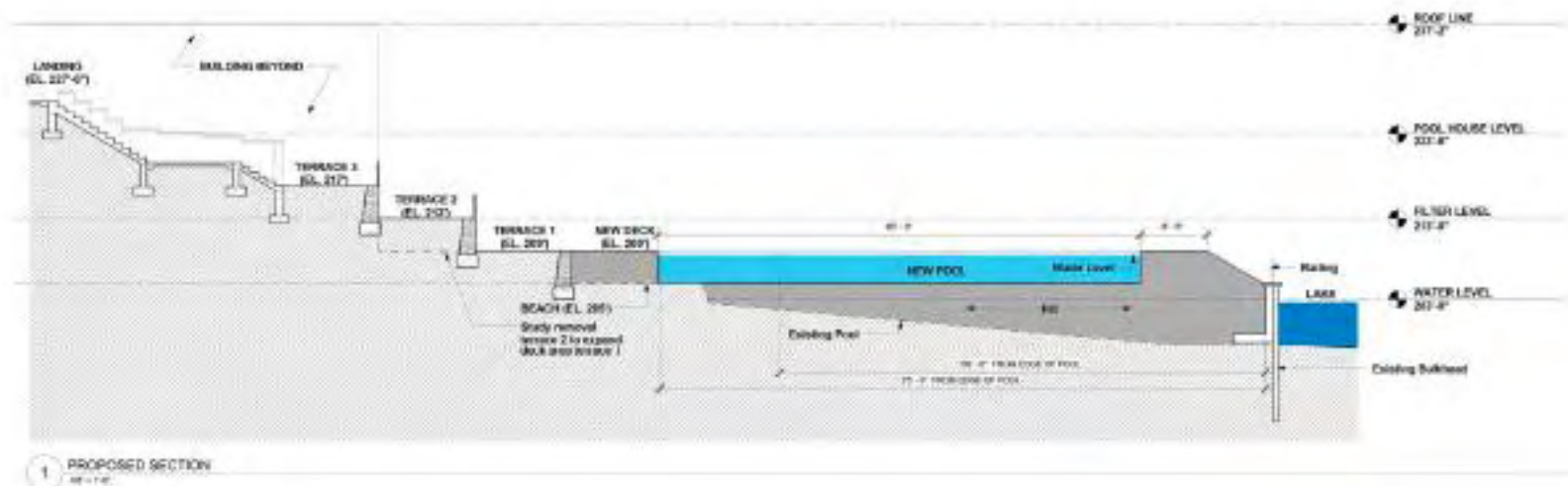
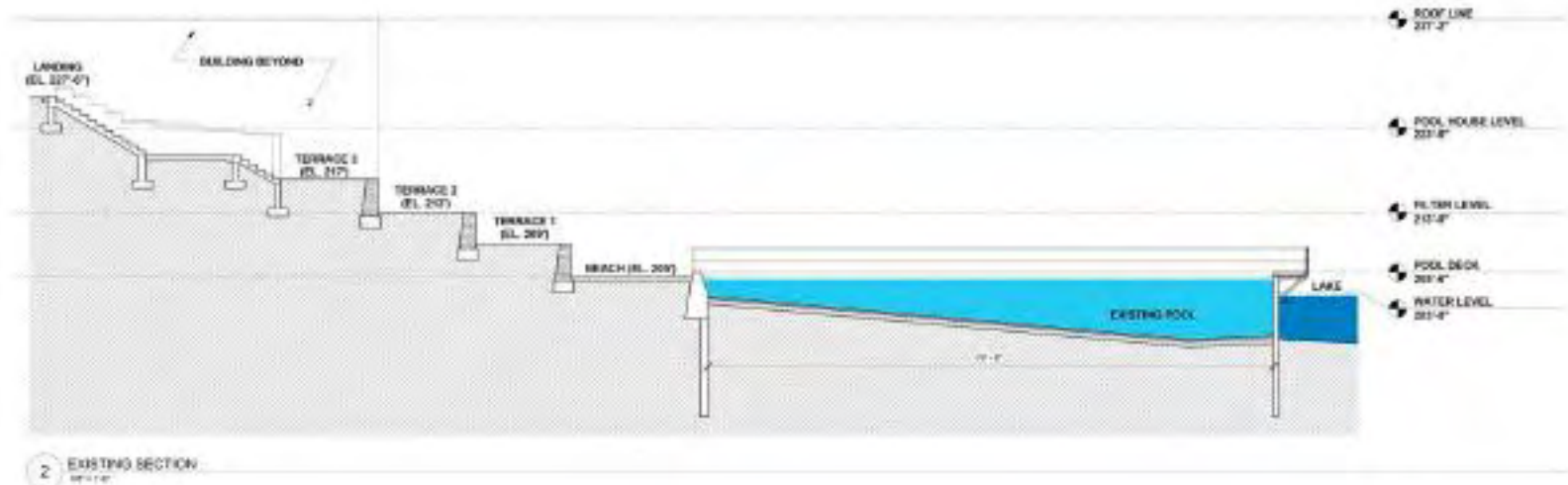
Guard & Safety
Pump and
Filtration
Usage

Scope of Use
Utilities
Maintenance

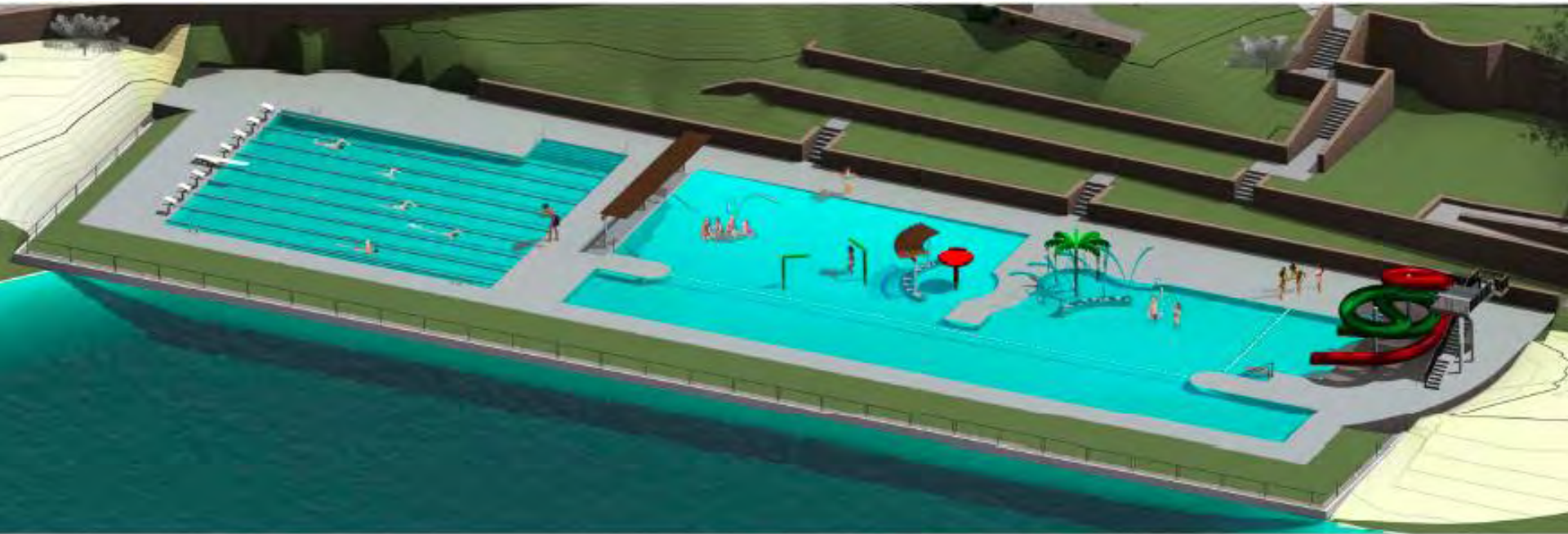
Seasonality
Off-season
Usage

General
maintenance

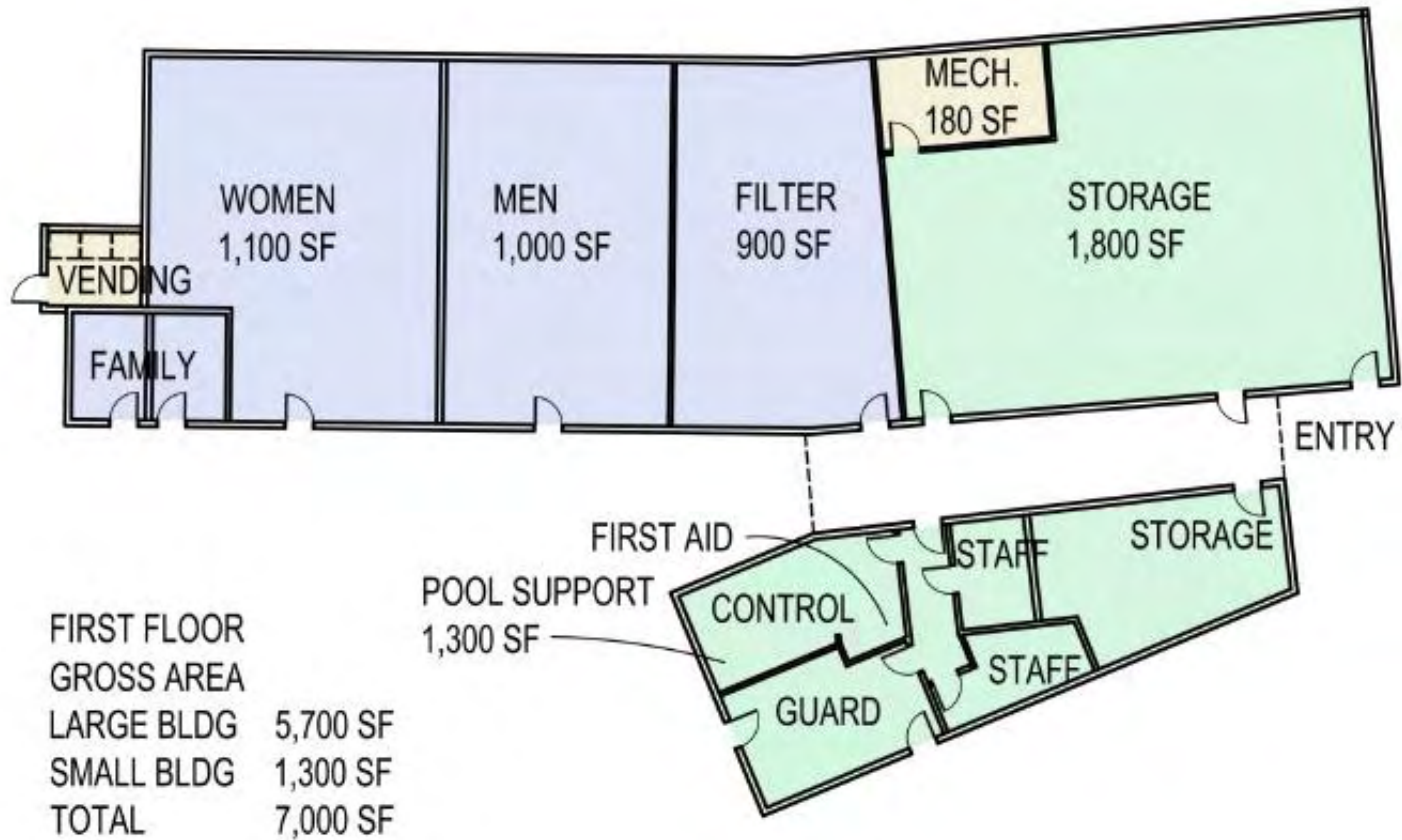
POOL LOCATION



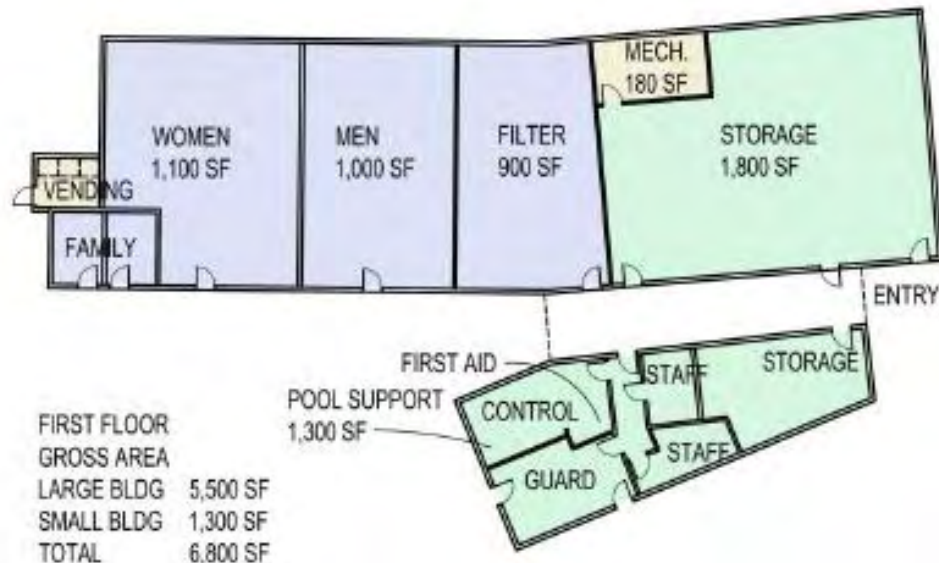
PRELIMINARY POOL DESIGN



BASE BUILDING



BUILDING WITH OFFICES



PARKING



THINGS TO CONSIDER

Rosemary Pool An Asset

- Pool Opened in 1972
- Provides Affordable Summer Programming
- Teaches Swimming
- Residents Pay More Money For Higher Quality Summer Pools
- Strong Residential Support For Pool
- Lake and Surrounding Trails Can Be Enhanced
- Creates Jobs And Supports Local Economy
- An Amenity That Increases Property Value

Doing Nothing Isn't Free

- Pond Draining Permit Ends 2016
- Working on Solution For 2017
- Site Must Be Decommissioned If No Pool
 - Cost \$2-3M
 - Recreational Value In Site
- Limited Options For Alternative Site Uses