

NEEDHAM
ZONING BOARD OF APPEALS
AGENDA
THURSDAY, October 19, 2023 - 7:30PM

Zoom Meeting ID: 869-6475-7241

To join the meeting click this link: <https://us02web.zoom.us/j/86964757241>

- | | |
|-------------------------|---|
| Minutes | Review and approve Minutes from September 21, 2023 meeting. |
| Case #1 – 7:30PM | 30 Wilshire Park –Jeremy & Jessica Karlin, owners, applied for a Special Permit under Sections 1.4.6, and any other applicable section of the By-Law to alter, enlarge and extend a pre-existing, non-conforming single-family to allow the demolition of an existing deck and stairs and replace it with a basement and a family room above. The property is located at 30 Wilshire Park, Needham, MA in the Single-Residence B (SRB) District. |
| Case #2 – 7:45PM | 24 Webster Street – Med A. Gharsallaoui, owner, applied for a Special Permit under Sections 1.4.6 and any other applicable section of the By-Law to alter, enlarge and extend a pre-existing, non-conforming single-family to allow the expansion and addition of the second story to accommodate two bedrooms and a bathroom on the second floor. The property is located at 24 Webster Street, Needham, MA in the Single-Residence B (SRB) District. |
| Administrative | Article V, Section 2 – Withdrawal – Board Rules Amendment Consideration |

Next ZBA Meeting – November 16, 2023

**NEEDHAM
ZONING BOARD OF APPEALS
MINUTES
THURSDAY, September 21, 2023 - 7:30PM**

Charles River Room Public Service Administration Building 500 Dedham Avenue Needham, MA 02492	Also livestreamed on Zoom Meeting ID: 869-6475-7241
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Pursuant to notice published at least 48 hours prior to this date, a hybrid meeting of the Needham Board of Appeals was held at the Charles River Room, Public Services Administration Building, 500 Dedham Avenue, Needham and remotely on Zoom on Thursday, September 21, 2023 at 7:30 p.m.

BOARD MEMBERS PRESENT: Jonathan D. Tamkin, Acting-Chair, Howard S. Goldman, Nikolaos M. Ligris and Peter Friedenberg.

STAFF PRESENT: Daphne M. Collins, Zoning Specialist.

Mr. Tamkin, Acting-Chair presided and opened the meeting at 7:30 p.m.

1. MINUTES OF JULY 20, 2023

Mr. Goldman moved to approve the minutes of July 20, 2023. Mr. Ligris seconded the motion. The motion was unanimously approved.

2. MR. LIGRIS APPOINTED AS MEMBER

Mr. Tamkin announced that Mr. Ligris was appointed by the Select Board as a Member to fill the vacancy created by the departure of Jon D. Schneider.

3. NOMINATION AND ELECTION OF OFFICERS – *BOARD OF APPEALS RULES, ARTICLE II, SECTION 1*

- Mr. Ligris moved to nominate and elect Mr. Tamkin as Chair. Mr. Tamkin accepted the nomination. Mr. Goldman seconded the motion. The motion was unanimously approved.
- Mr. Ligris moved to nominate and elect Mr. Goldman as Vice-Chair. Mr. Goldman

accepted the nomination. Mr. Tamkin seconded the motion. The motion was unanimously approved.

CASE #1 1458 GREAT PLAIN AVENUE WITHDRAWN WITHOUT PREJUDICE.

4. 1111 HIGHLAND AVENUE – INFORMAL MATTER

The Board granted a Special Permit on October 16, 1997 to Norfolk Lodge A.F. & A.M. allowing the selling of Christmas trees and related items during the holiday season based upon the submittal of a yearly letter of request with a letter from the Christ Episcopal Church allowing the selling on their premises. The requested sale period is from November 18 - December 24, 2023, Monday through Friday, 3:00 p.m.-9:00 p.m.; Saturday 9:00 a.m. to 6:00 p.m., and Sunday Noon to 6:00 p.m.

Mr. Goldman moved to grant the Norfolk Lodge A.F. & A.M. permission to sell Christmas trees and related items at 1111 Highland Avenue as allowed by the 1997 Special Permit limited to the hours and period specified in the submitted letters. Mr. Ligris seconded the motion. The motion was unanimously approved.

5. RECOGNITION AND APPRECIATION - JON D. SCHNEIDER

Mr. Schneider resigned effective August 31, 2023 after nearly 30 years on the Board and serving as its Chair for the past 15 years. The Board presented him with a Proclamation (attached) followed by a video in appreciation linked here: https://drive.google.com/file/d/1oS-8QO7_D_E4biYlb94BcJnOpI9xz3x6/view?usp=share_link

6. ADJOURNMENT

The meeting adjourned at 7:50pm

A summary of the discussions on each subject, a list of the documents and other exhibits used at the meeting, the decisions made, and the actions taken at each meeting, including a record of all votes, are set forth in a detailed decision signed by the members voting on the subject and filed with the Town Clerk.

The hearings can be viewed at <http://www.needhamchannel.org/watch-programs/> and <https://www.youtube.com/@TownofNeedhamMA/videos>



ZBA Application For Hearing

Applicants must consult with the Building Inspector prior to filing this Application. Failure to do so will delay the scheduling of the hearing.

Applicant Information

Applicant Name	Jessica & Jeremy Karlin	Date:	9/12/23
Applicant Address	30 Wilshire Park, Needham, MA		
Phone	339-927-4289	email	jess.karlin@gmail.com
Applicant is ☒ Owner; ☐ Tenant; ☐ Purchaser; ☐ Other _____			
If not the owner, a letter from the owner certifying authorization to apply must be included			
Representative Name	New England Design & Remodeling		
Address	168 Main Street, Northboro, MA 01532		
Phone	508 726 0362	email	alpaar alpaar@aol.com
Representative is ☐ Attorney; ☒ Contractor; ☐ Architect; ☐ Other _____			
Contact ☐ Me ☒ Representative in connection with this application.			

Subject Property Information

Property Address	30 Wilshire Park, Needham, MA		
Map/Parcel Number	19903100055	Zone of Property	SRB
Is property within 100 feet of wetlands, 200 feet of stream or in flood Plain? ☐ Yes ☒ No			
Is property ☒ Residential or ☐ Commercial			
If residential renovation, will renovation constitute "new construction"? ☐ Yes ☒ No			
If commercial, does the number of parking spaces meet the By-Law requirement? ☐ Yes ☐ No			
Do the spaces meet design requirements? ☐ Yes ☐ No			
Application Type (select one): ☒ Special Permit ☐ Variance ☐ Comprehensive Permit ☐ Amendment ☐ Appeal Building Inspector Decision			



ZBA Application For Hearing

Existing Conditions:

SEE PLOT PLAN
EXISTING SINGLE FAMILY HOME
PROPOSED ADDITION

Statement of Relief Sought:

PRE-EXISTING NON-CONFORMING
LOT. RELIEF FROM FRONTAGE
& LOT AREA.
ALSO FAR

Applicable Section(s) of the Zoning By-Law:

SEC 4.2.1 DIMENSIONAL REQUIREMENTS

If application under Zoning Section 1.4 above, list non-conformities:

	Existing Conditions	Proposed Conditions
Use	Single Res	same
# Dwelling Units	1	1
Lot Area (square feet)	7,184 S.F.	7,184 S.F.
Front Setback (feet)	20'	20'
Rear Setback (feet)	10'	10'
Left Setback (feet)	9.8	9.8
Right Setback (feet)	10'	10'
Frontage (feet)	66.00	66.00
Lot Coverage (%)	28.8	29.3
FAR (Floor area divided by the lot area)	.37	.42

Numbers must match those on the certified plot plan and supporting materials



ZBA Application For Hearing

Date Structure Constructed including additions:

1927

Date Lot was created:

1924

Submission Materials	Provided
Certified Signed Plot Plan of Existing and Proposed Conditions (Required)	✓
Application Fee, check made payable to the Town of Needham Check holders name, address, and phone number to appear on check and in the Memo line state: "ZBA Fee – Address of Subject Property" (Required)	✓
If applicant is tenant, letter of authorization from owner (Required)	N/A
Electronic submission of the complete application with attachments (Required)	✓
Elevations of Proposed Conditions (when necessary)	✓
Floor Plans of Proposed Conditions (when necessary)	✓

Feel free to attach any additional information relative to the application.
Additional information may be requested by the Board at any time during the
application or hearing process.



I hereby request a hearing before the Needham Zoning Board of Appeals. I have
reviewed the Board Rules and instructions.

I certify that I have consulted with the Building Inspector 9/14/23
date of consult

Date: 9/18/23 Applicant Signature [Signature]

*An application must be submitted to the Town Clerk's Office at
townclerk@needhamma.gov and the ZBA Office at dcollins@needhamma.gov*

CERTIFIED PLOT PLAN
IN
NEEDHAM, MASS
#30 WILSHIRE PARK
PARCEL ID: 199/031.0-0055

PREPARED FOR: NEW ENGLAND DESIGN AND REMODELING
OWNED BY: JEREMY & JESSICA KARLIN
AUGUST 1, 2023 SCALE: 1"=20'

DEED REFERENCE: BOOK 37123 / PAGE 71
PLAN REFERENCE: BOOK 1778 / PAGE END

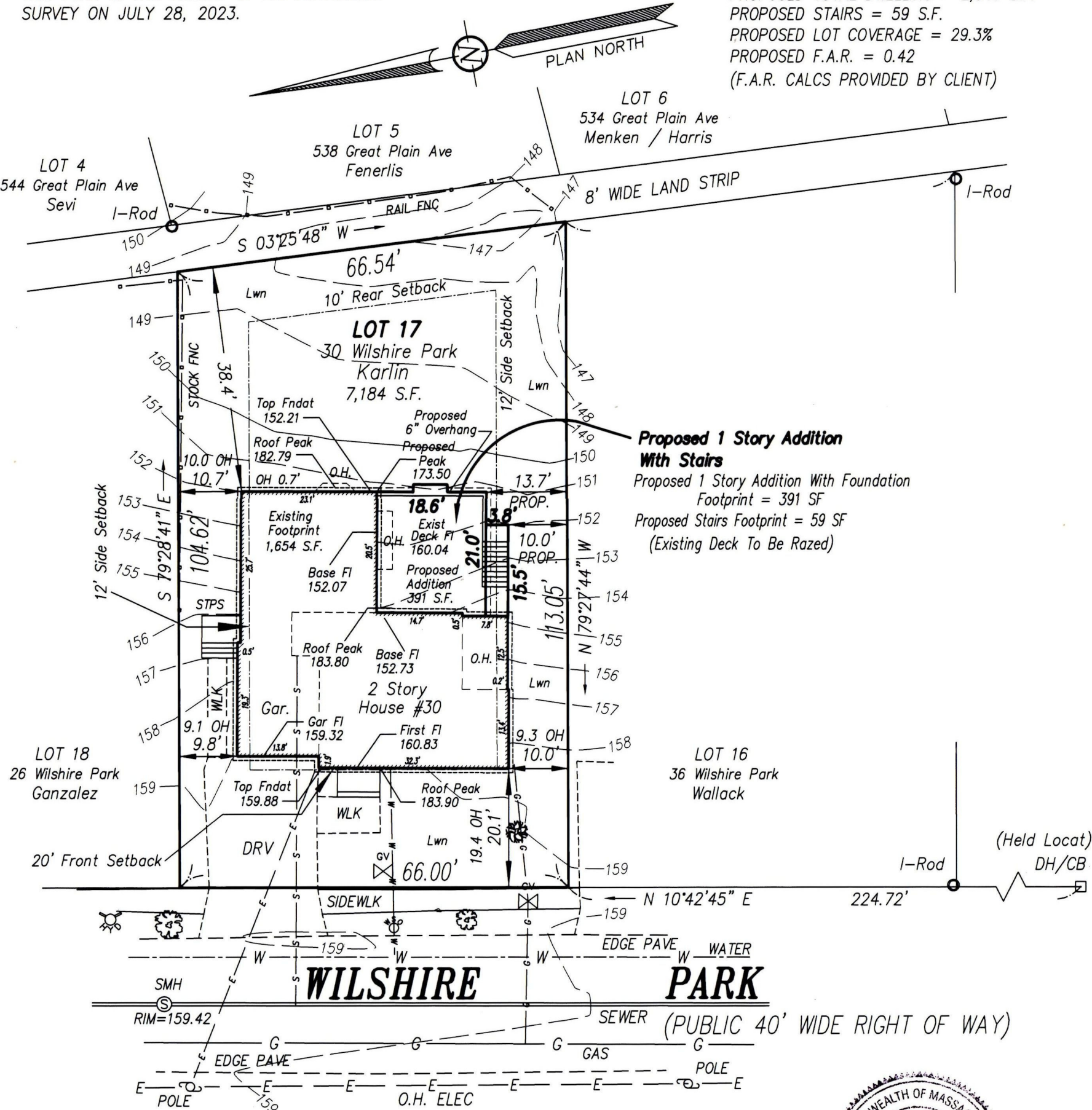
THE EXISTING AND PROPOSED STRUCTURES SHOWN DO NOT FALL
WITHIN A FLOOD HAZARD ZONE - SEE MAP 25021C0038E

THIS PLAN IS THE RESULT OF AN INSTRUMENT
SURVEY ON JULY 28, 2023.

ZONE DISTRICT: (SRB) SINGLE RESIDENCE "B"

MIN. LOT AREA = 10,000 SQUARE FEET
MIN. LOT FRONTAGE = 80 FEET
EXISTING LOT AREA = 7,184 SQUARE FEET
EXISTING LOT FRONTAGE = 66.00 FEET
MIN. FRONT SETBACK = 20 FEET
MIN. SIDE SETBACK = 12 FEET (< 80' Frntg)
MIN. REAR SETBACK = 10 FEET
MAX FLOOR AREA RATIO = 0.38
MAXIMUM LOT COVERAGE = 26% (7,184 S.F.)
MAXIMUM HEIGHT = 35 FEET
EXISTING DWELLING = 1,654 S.F.
EXISTING DECK/STAIRS = 416 S.F.
EXISTING DRIVEWAY = 415 S.F.
EXISTING LOT COVERAGE = 28.8%
EXISTING F.A.R. = 0.37

PROPOSED TOTAL DWELLING = 2,046 S.F.
PROPOSED STAIRS = 59 S.F.
PROPOSED LOT COVERAGE = 29.3%
PROPOSED F.A.R. = 0.42
(F.A.R. CALCS PROVIDED BY CLIENT)

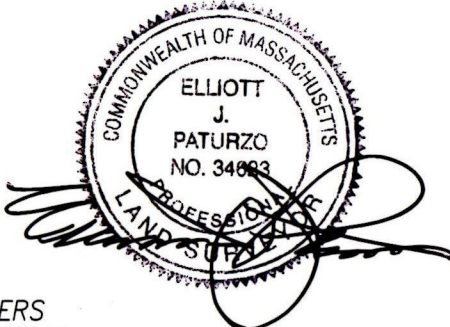


LOCATIONS OF UTILITIES SHOWN ARE COMPILED FROM
PLAN AND FIELD SURVEY DATA. NO WARRANTY OR
GUARANTEE IS IMPLIED FOR THEIR LOCATION. ALL
UTILITIES ARE TO BE MARKED OUT ON SITE BY THEIR
RESPECTIVE UTILITY COMPANIES PRIOR TO ANY
GROUND BREAKING EVENTS.

REVISED: SEPT. 14, 2023 - REVISE F.A.R. NUMBERS

DATE: AUGUST 21, 2023
SCALE: 1"=20'
CALC. BY: JAS
DRAWN BY: JAS
CHECKED BY: EJP

A.S. Elliott & Associates
Professional Land Surveyors
P.O. BOX 85 ~ HOPEDALE, MA 01747
(508) 634-0256
www.aselliott.com



KARLIN FAMILY ROOM ADDITION

SCALE : 1 / 4 " = 1 ' - 0 "

JESSICA & JEREMY KARLIN
30 WILSHIRE PARK
NEEDHAM, MA 02492



PROJECT:

KARLIN
RESIDENCE

30 WILSHIRE PARK
NEEDHAM, MA

DRAWING TITLE:

REMODELING
FLOOR PLANS

SCALE: 1/4"=1'-0"



GENERAL REMODELING PLANS

PLANS ARE FOR DESIGN PURPOSES, CONTRACTOR TO TAKE RESPONSIBILITY FOR CONSTRUCTING ADDITION IN ACCORDANCE TO MASS. STATE BUILDING CODES
CONTRACTOR SHALL FIELD MEASURE AND ADJUST ALL DIMENSIONS ON SITE AND GET MANUFACTURERS ENGINEERING ON ALL STRUCTURAL BEAMS AND JOISTS AND NOTIFY HOMEOWNER OF ANY CHANGES.

NEW ENGLAND DESIGN & REMODELING

DATE:

16 JAN., 2022

DRAWN BY:

B.L. SAULNIER

KARLIN

REVISED:

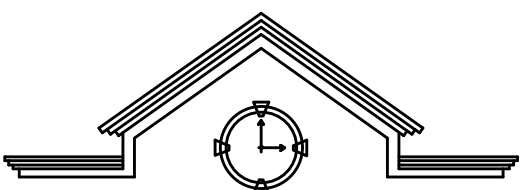
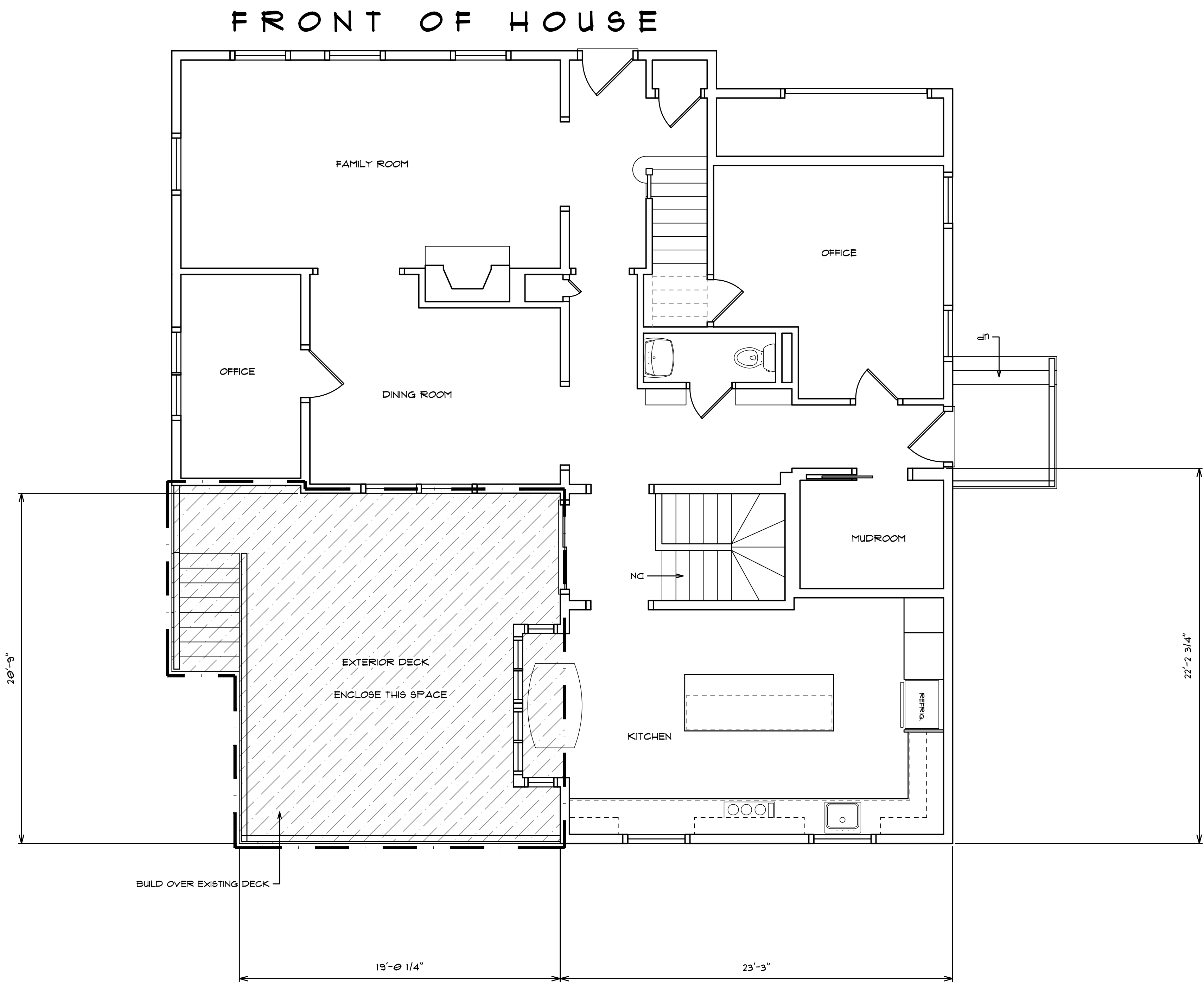
02 FEB., 2023
12 MAY., 2023

PAGE:

1

KARLIN FAMILY ROOM ADDITION

SCALE : 1/4" = 1' - 0"



NEW ENGLAND DESIGN
& REMODELING

INCORPORATED
168 MAIN STREET
NORTHBOROUGH, MA 01532
(508)351-5454

PROJECT:

KARLIN
RESIDENCE

30 WILSHIRE PARK
NEEDHAM, MA

DRAWING TITLE:

REMODELING
FLOOR PLANS

SCALE: 1/4" = 1' - 0"

FIRST FLOOR PLAN

GENERAL REMODELING PLANS

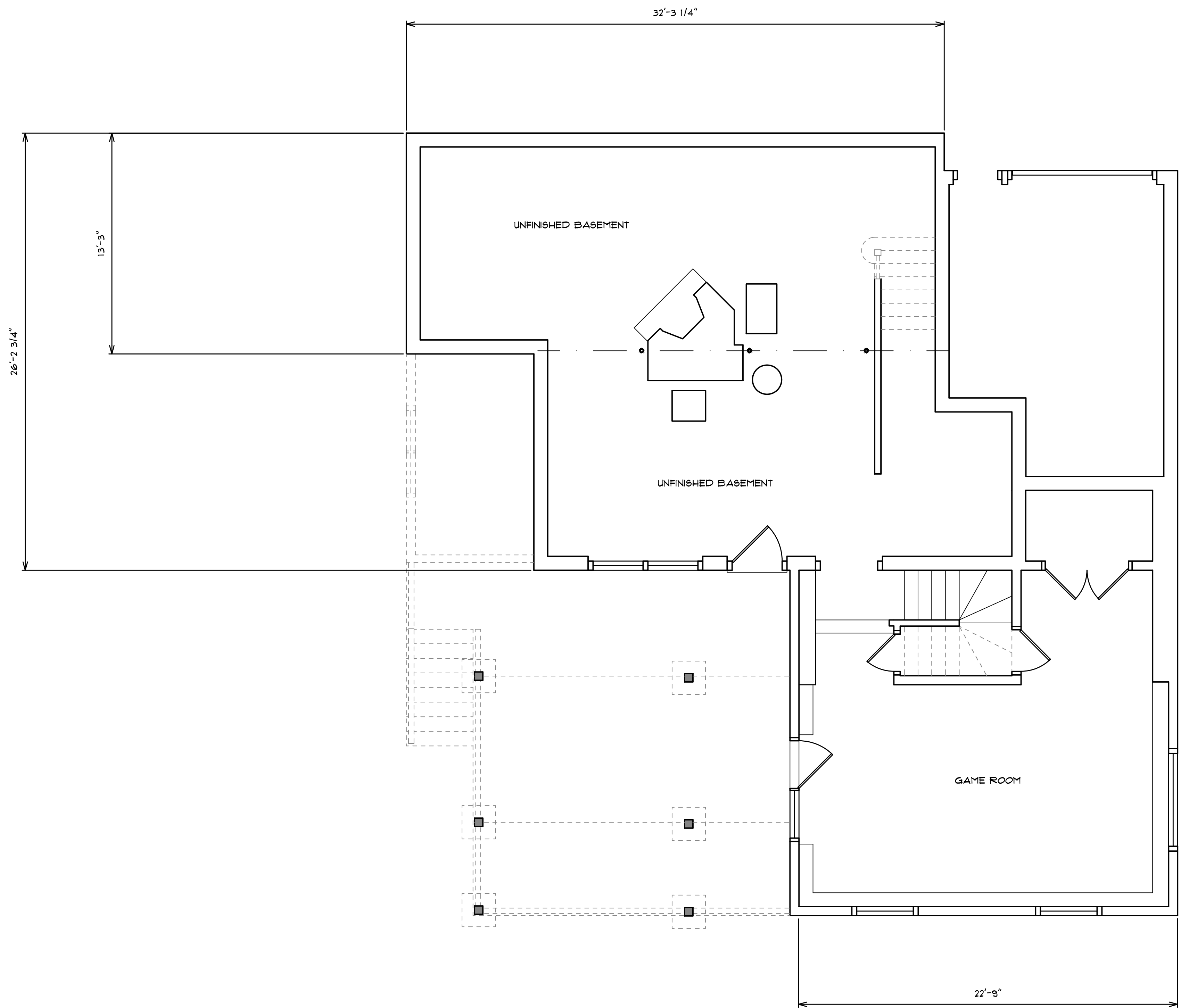
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NEW ENGLAND DESIGN & REMODELING

DATE:	DRAWN BY:
10 JAN., 2022	B.L. SAULNIER
	KARLIN
REVISED:	PAGE:
02 FEB., 2023 12 MAY., 2023	2

KARLIN FAMILY ROOM ADDITION

SCALE : 1/4" = 1' - 0"



PROJECT:

KARLIN
RESIDENCE
30 WILSHIRE PARK
NEEDHAM, MA

DRAWING TITLE:

REMODELING
FLOOR PLANS
SCALE: 1/4" = 1' - 0"

BASEMENT FLOOR PLAN

GENERAL REMODELING PLANS

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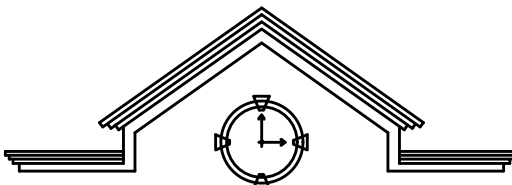
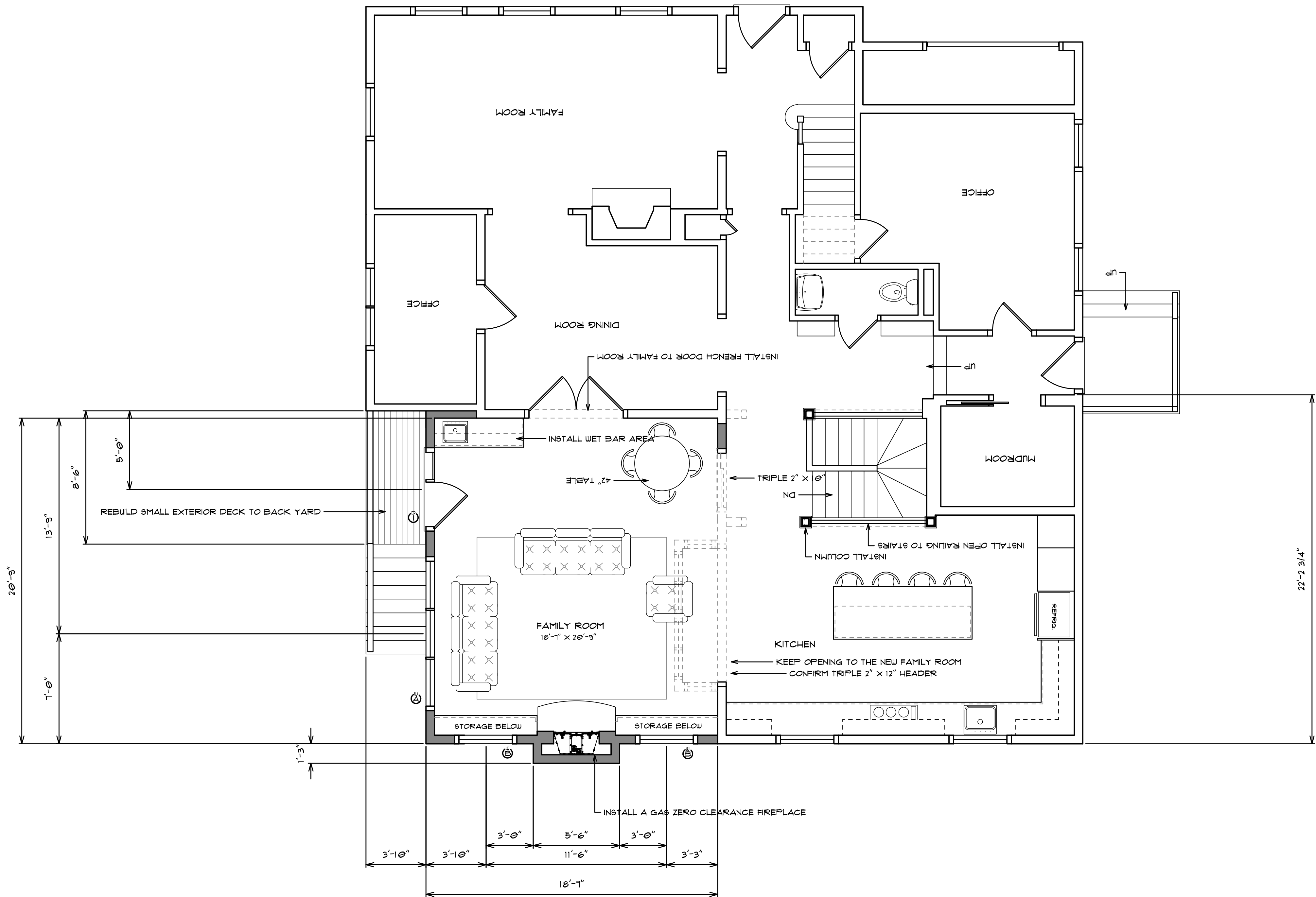
NEW ENGLAND DESIGN & REMODELING

DATE:	DRAWN BY:
16 JAN., 2022	B.L. SAULNIER
	KARLIN
REVISED:	PAGE:
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KARLIN FAMILY ROOM ADDITION

SCALE : 1/4" = 1' - 0"

FRONT OF HOUSE



NEW ENGLAND DESIGN
& REMODELING

INCORPORATED
168 MAIN STREET
NORTHBOROUGH, MA 01532
(508) 351-5454

PROJECT:

KARLIN
RESIDENCE

30 WILSHIRE PARK
NEEDHAM, MA

DRAWING TITLE:

REMODELING
FLOOR PLANS

SCALE: 1/4" = 1' - 0"

REVISED FIRST FLOOR PLAN GENERAL REMODELING PLANS

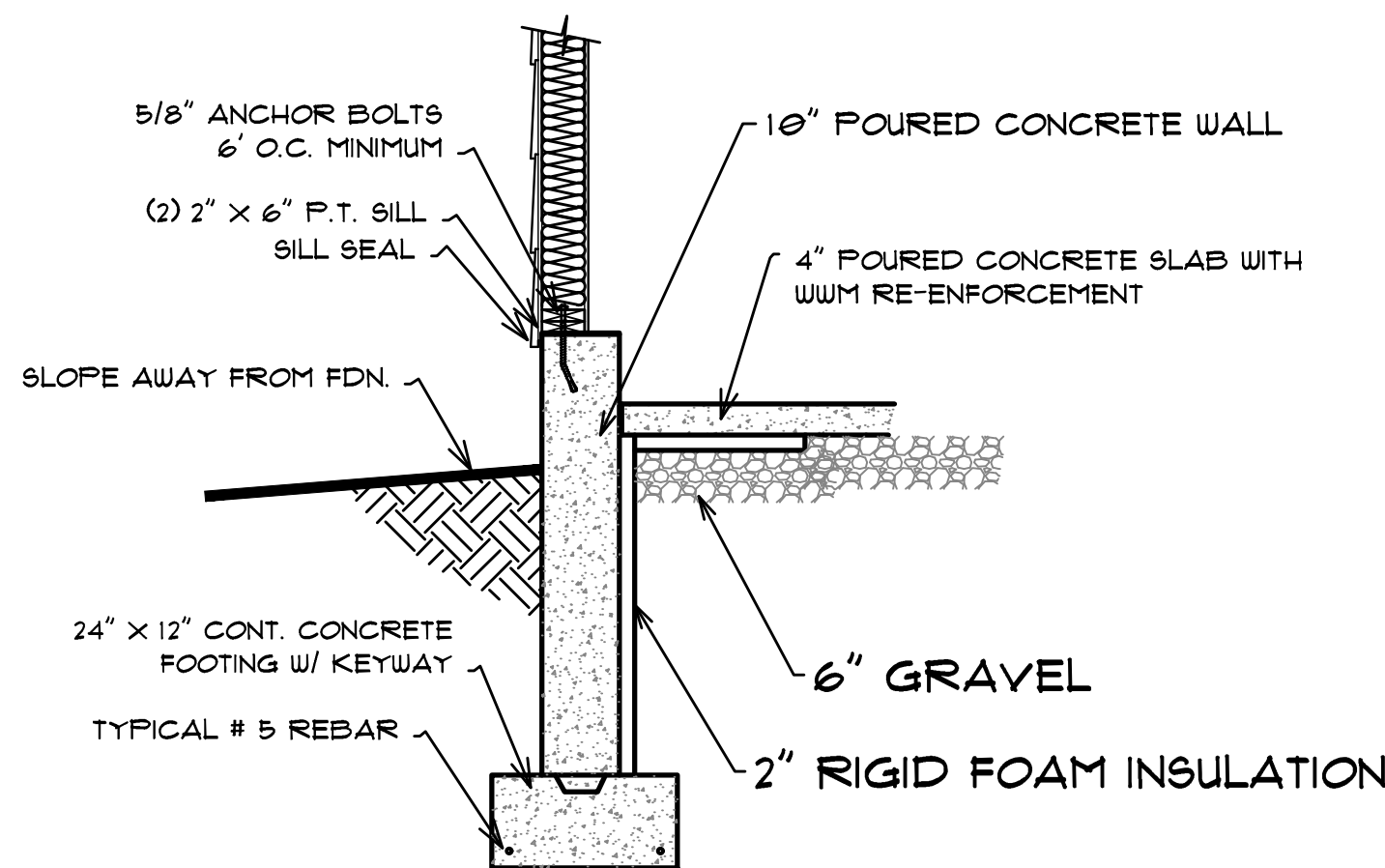
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NEW ENGLAND DESIGN & REMODELING

DATE: 16 JAN., 2022	DRAWN BY: B.L. SAULNIER
REVISED: 02 FEB., 2023 12 MAY., 2023	PAGE: KARLIN 4

KARLIN FAMILY ROOM ADDITION

SCALE : 1/4" = 1'-0"

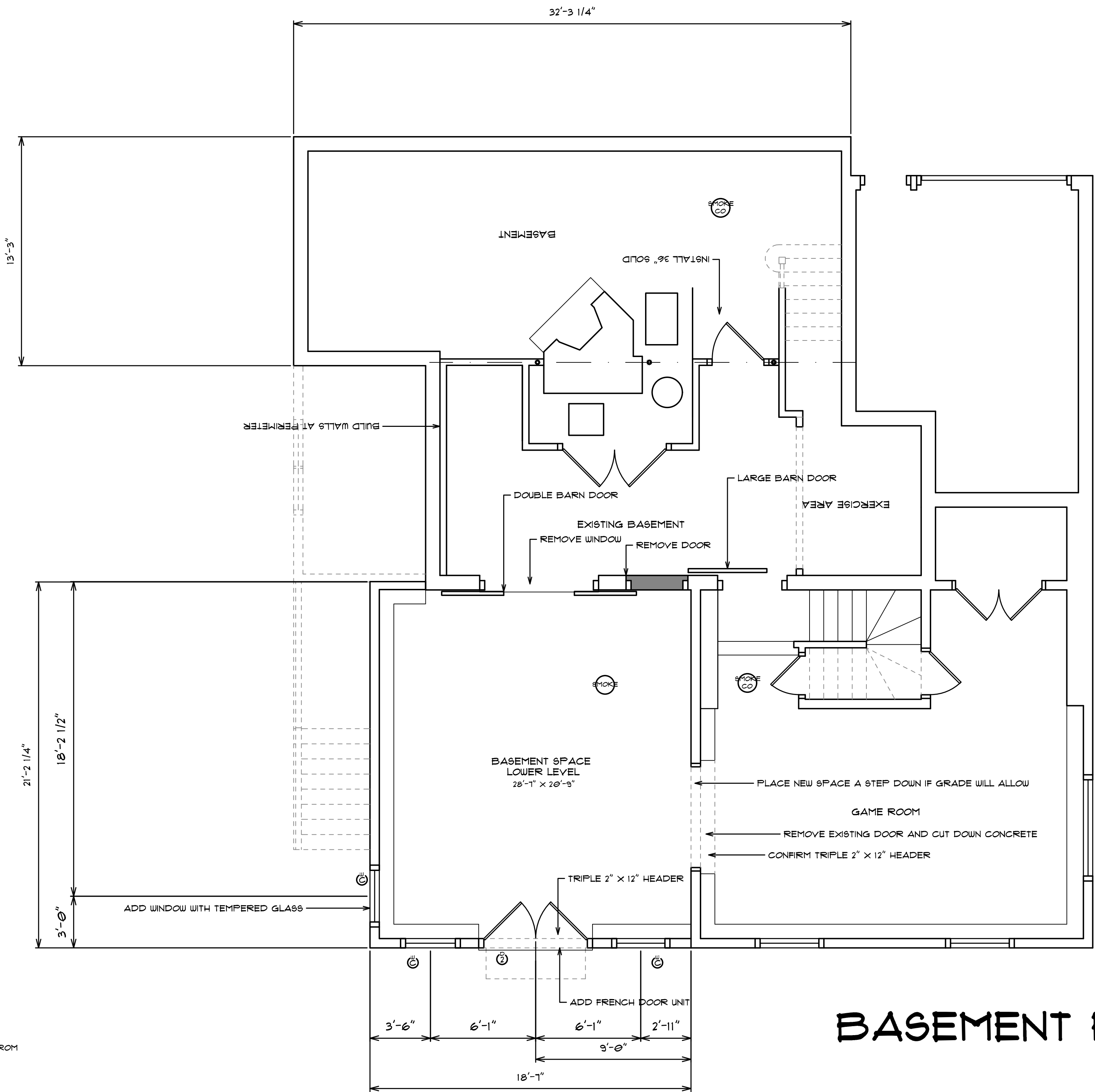


TYPICAL CONCRETE WALL DETAIL
AT GARAGE WALL
SCALE : 1/2" = 1'-0"

DESIGN CRITERIA:

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST AND 2ND FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
SLEEPING AND ATTIC AREA LIVE LOAD	30 P.S.F.
FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	50 P.S.F.
ROOF DEAD LOAD	12 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	125 MPH, RISK CAT II
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	48 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R802.11, BASED UPON SPECIFIC ROOF DESIGN

ALL FIRST FLOOR WINDOW R.O. HGT'S TO BE 6'-3 1/2" U.N.O.
ALL SECOND FLOOR WINDOW R.O. HGT'S TO BE 6'-3 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL.
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 1' = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)x10's OR (3)x12's (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2015 IRC
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

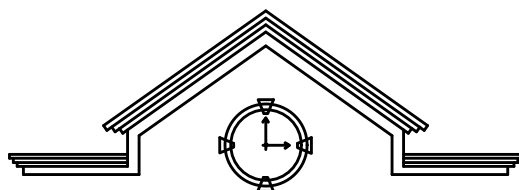


BASEMENT FLOOR PLAN

GENERAL REMODELING PLANS

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NEW ENGLAND DESIGN & REMODELING



NEW ENGLAND DESIGN
& REMODELING

INCORPORATED
168 MAIN STREET
NORTHBOROUGH, MA. 01532
(508) 351-9494

PROJECT:

KARLIN
RESIDENCE

30 WILSHIRE PARK
NEEDHAM, MA

DRAWING TITLE:

REMODELING
FLOOR PLANS

SCALE: 1/4" = 1'-0"

DATE:

16 JAN., 2022

DRAWN BY:

D.L. SAULNIER

KARLIN

REVISED:

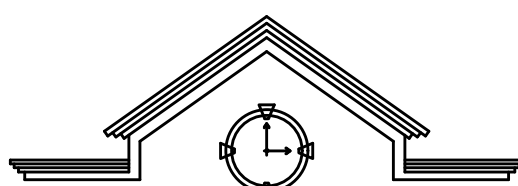
02 FEB., 2023
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KARLIN FAMILY ROOM ADDITION

SCALE : 1/4" = 1' - 0"



**NEW ENGLAND DESIGN
& REMODELING**
INCORPORATED
168 MAIN STREET
NORTHBOROUGH, MA 01532
(508)351-8404

PROJECT:

**KARLIN
RESIDENCE**

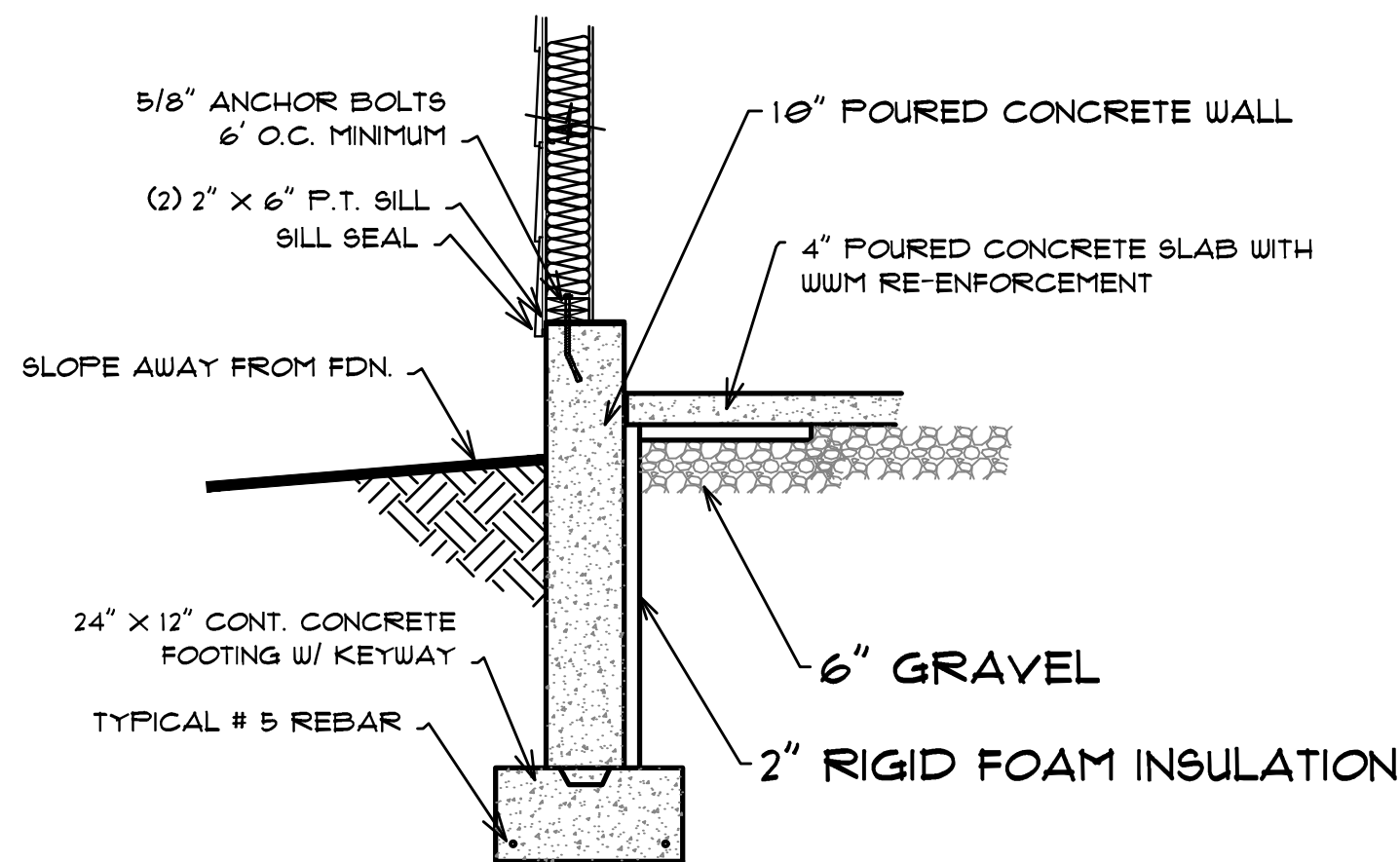
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NEEDHAM, MA

DRAWING TITLE:

**REMODELING
FLOOR PLANS**

SCALE: 1/4" = 1' - 0"

DATE:	DRAWN BY:
16 JAN., 2022	B.L. SAULNIER
	KARLIN
REVISED:	PAGE:
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**TYPICAL CONCRETE WALL DETAIL
AT GARAGE WALL**
SCALE : 1/2" = 1' - 0"

DESIGN CRITERIA:

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO

1ST AND 2ND FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
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FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	50 P.S.F.
ROOF DEAD LOAD	12 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE

WIND SPEED 125 MPH, RISK CAT II

SEISMIC DESIGN CATEGORY B

WEATHERING SEVERE

FROST LINE DEPTH 48 INCHES

TERMITE DAMAGE SLIGHT TO MODERATE

DECAY DAMAGE NONE TO SLIGHT

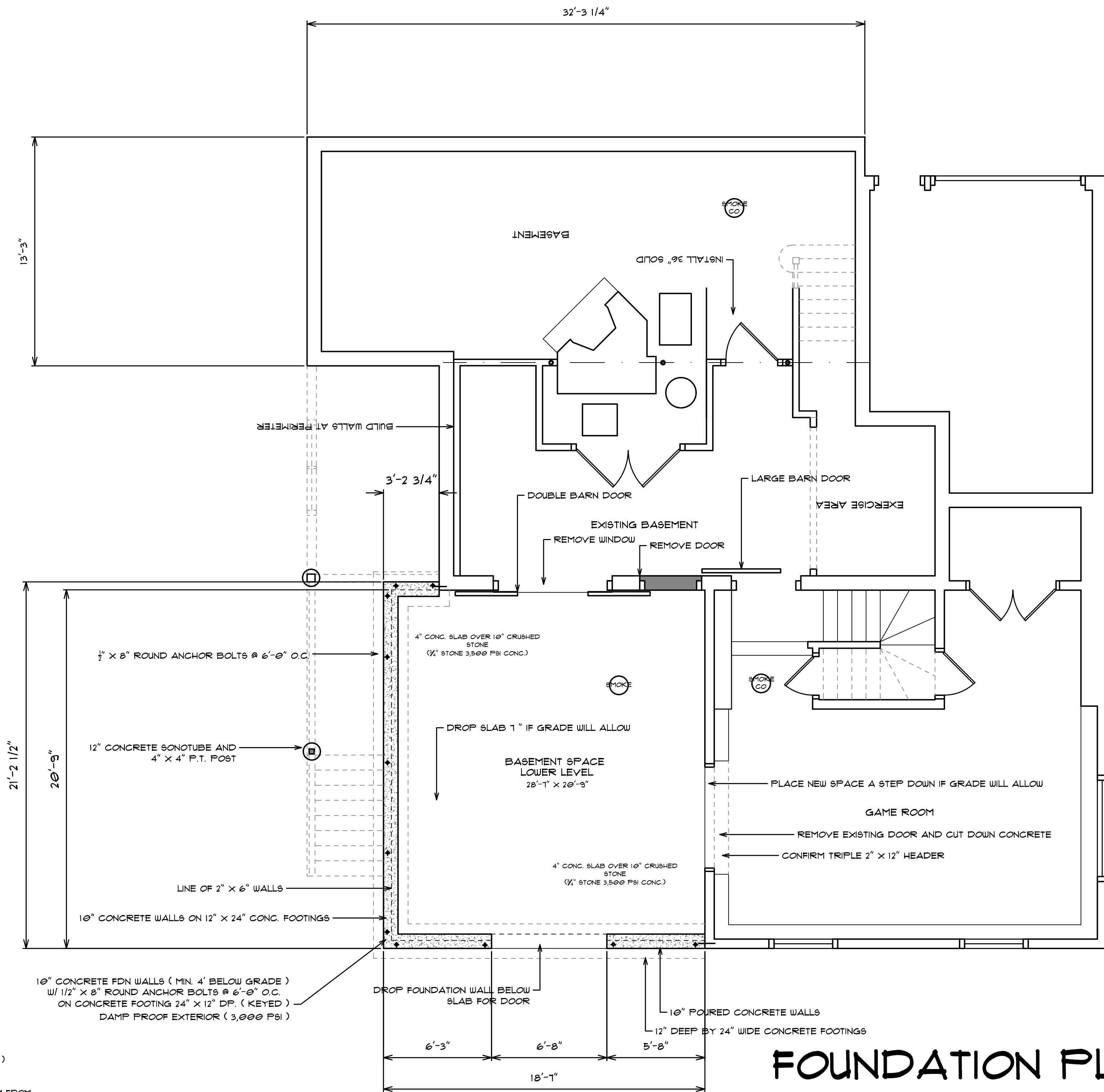
WINTER DESIGN TEMPERATURE 1 DEGREE

ICE SHIELD UNDERLAYMENT REQUIRED 24" INSIDE OF EXTERIOR WALL LINE

FLOOD HAZARD FIRM - 2008

ROOF TIE DOWN REQUIREMENTS R802.11, BASED UPON SPECIFIC ROOF DESIGN

ALL FIRST FLOOR WINDOW R.O. HGT'S TO BE 6'-3 1/2" U.N.O.
ALL SECOND FLOOR WINDOW R.O. HGT'S TO BE 6'-9 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 1' = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. 2X12'S OR 3X12'S (U.N.O.)
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THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.



FOUNDATION PLAN

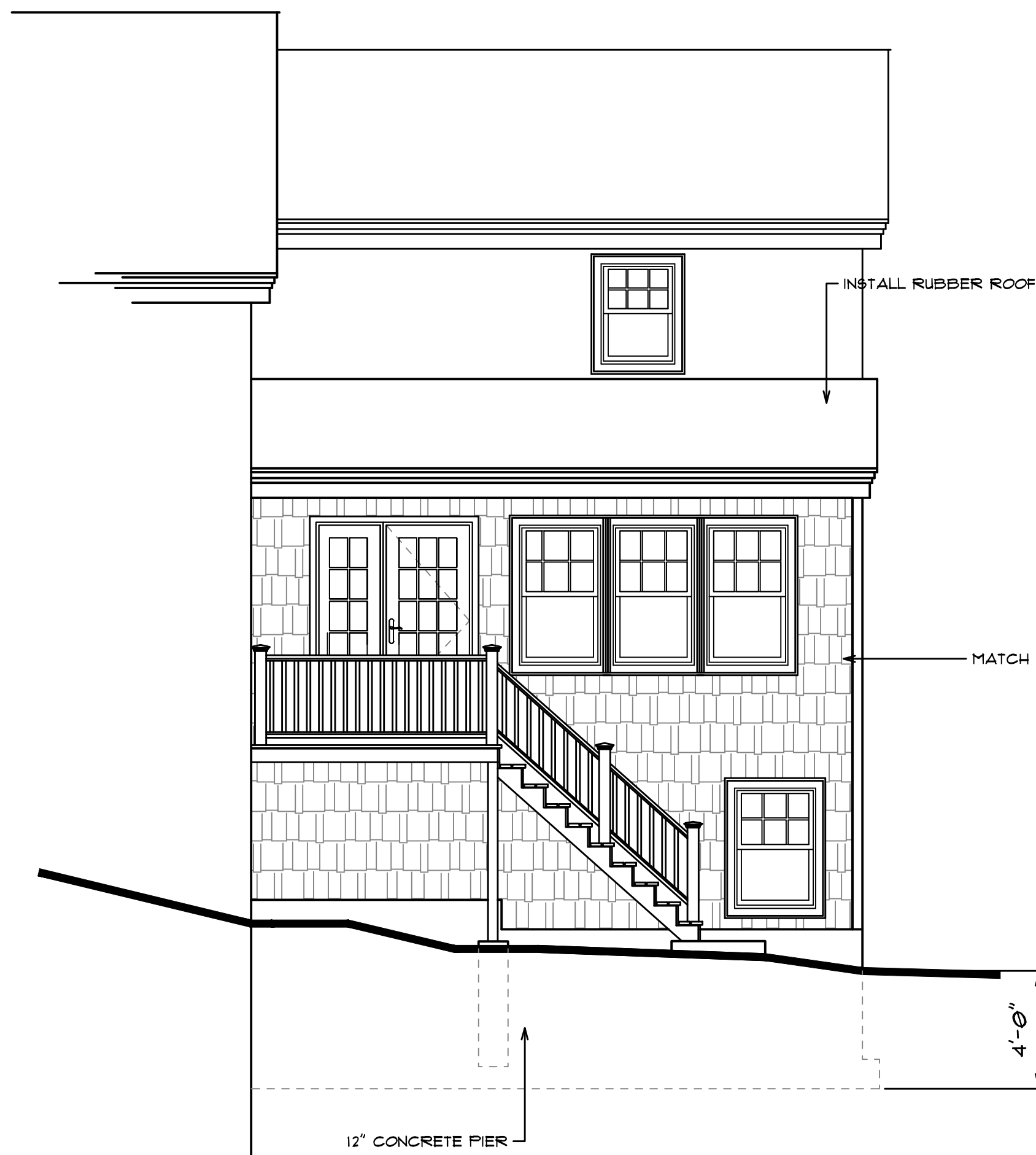
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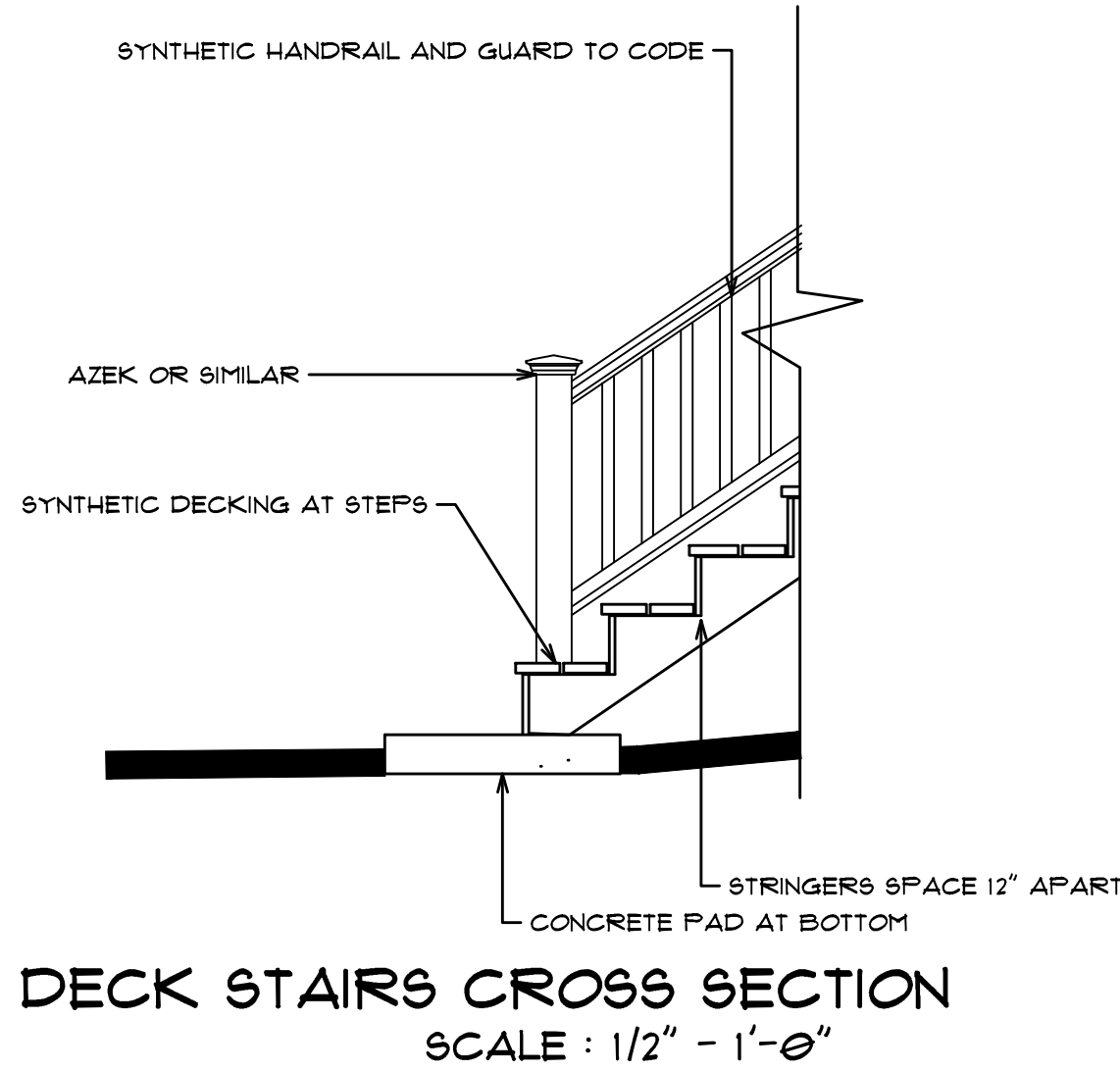
NEW ENGLAND DESIGN & REMODELING

KARLIN FAMILY ROOM ADDITION

SCALE : 1/4" = 1' - 0"



SIDE ELEVATION



DECK STAIRS CROSS SECTION
SCALE : 1/2" = 1' - 0"



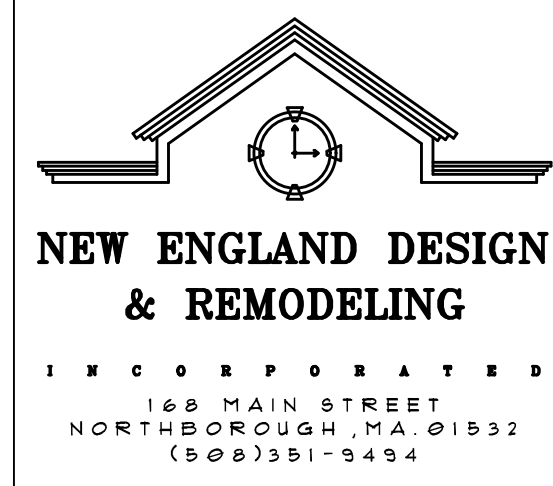
REAR ELEVATION

EXTERIOR REAR ELEVATION

GENERAL REMODELING PLANS

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NEW ENGLAND DESIGN & REMODELING



PROJECT:

KARLIN
RESIDENCE
30 WILSHIRE PARK
NEEDHAM, MA

DRAWING TITLE:

REMODELING
FLOOR PLANS
SCALE: 1/4" = 1' - 0"

DATE: 16 JAN., 2022	DRAWN BY: B.L. SAULNIER
REVISD: 02 FEB., 2023 12 MAY., 2023	PAGE: KARLIN 7

KARLIN FAMILY ROOM ADDITION

SCALE : 1/4" = 1' - 0"

WINDOW AND DOOR SCHEDULE
ALL WINDOWS SHALL BE HARVEY CLASSIC

MARK	MFG.	TYPE	NUMBER	R.O.	HDR	REMARKS	QTY
A	HARVEY	D.H.	2846-3	100 3/4" X 57 1/2"	(3) 2" X 12"	W/1/2" FLY	1
B	HARVEY	D.H.	28310	34" X 49 1/2"	(3) 2" X 10"	W/1/2" FLY	2
C	HARVEY	D.H.	2846	34" X 57 1/2"	(3) 2" X 10"	W/1/2" FLY	3
HARVEY CLASSIC WINDOW VINYL 2X LOW E ARGON/ ENERGY STAR FILLED U-FACTOR 0.25							
# 1	HARVEY	SLIDER	5068PD	60 1/4" X 80 1/2"	(3) 2" X 10"	W/1/2" FLY	1
# 1	HARVEY	SLIDER	60680PD	72 1/4" X 80 1/2"	(3) 2" X 10"	W/1/2" FLY	1



**NEW ENGLAND DESIGN
& REMODELING**
INCORPORATED
168 MAIN STREET
NORTHBOROUGH, MA 01532
(508) 391-5454

PROJECT:

KARLIN
RESIDENCE
30 WILSHIRE PARK
NEEDHAM, MA

DRAWING TITLE:

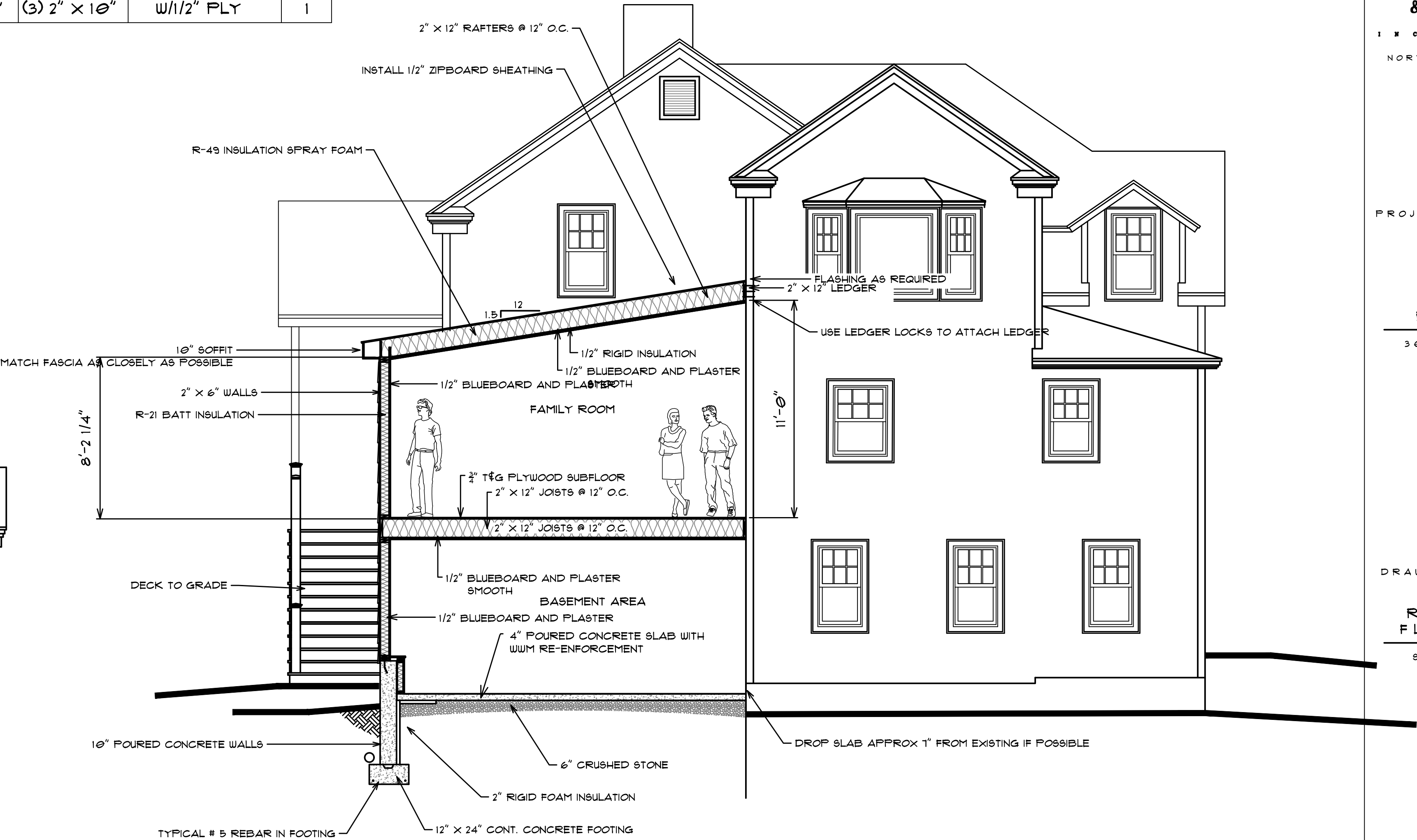
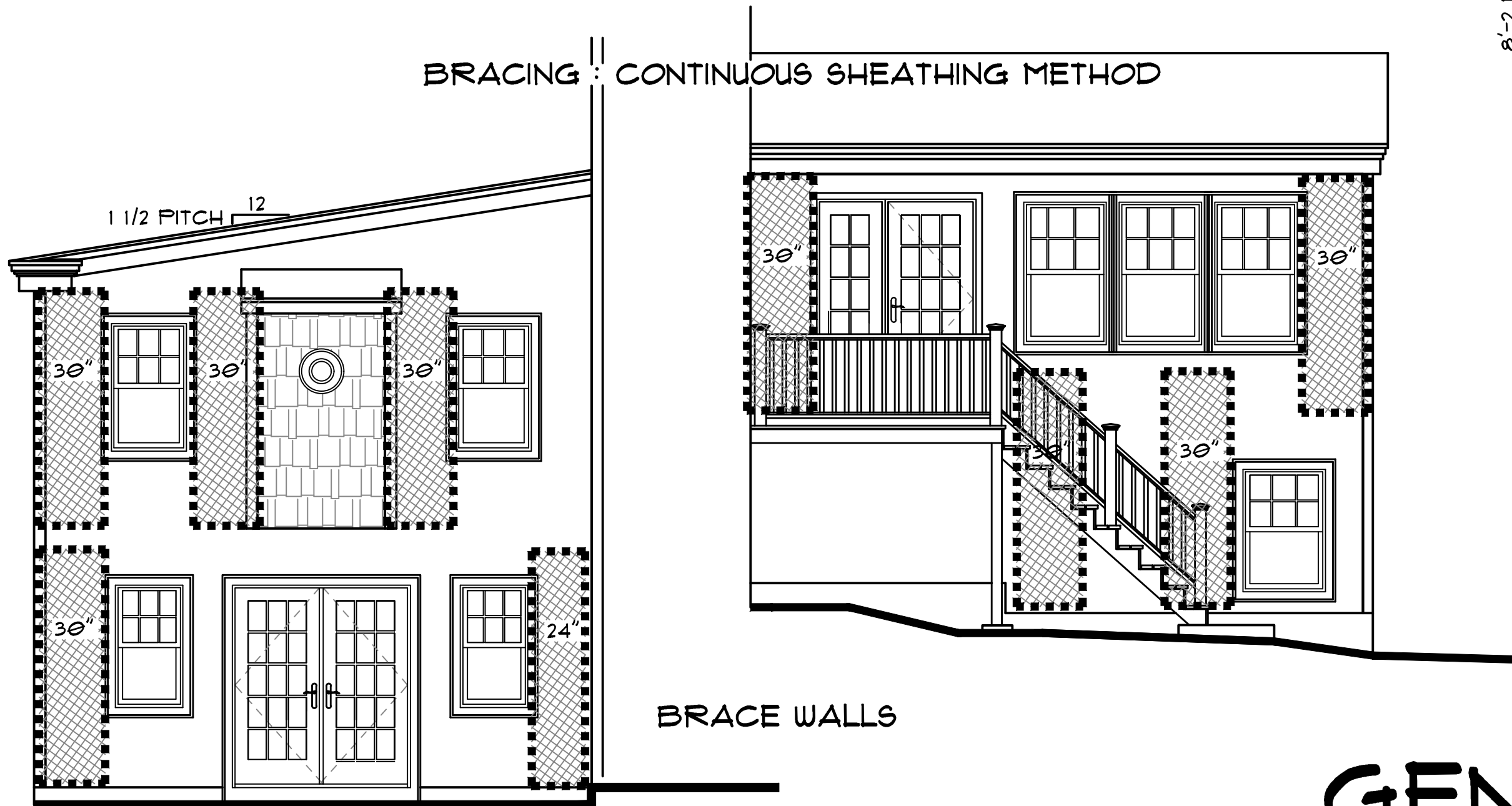
REMODELING
FLOOR PLANS
SCALE: 1/4" = 1' - 0"

CONTINUOUS SHEATHING METHODS

METHOD	MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA
CS-WSP	WOOD STRUCTURAL PANEL	3/8"		8D COMMON (2"x0.119") NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16 GA. x 1 3/4 STAPLES AT 3" SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)
CS-G	WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS AND SUPPORTING ROOF LOAD ONLY*+b	3/8"		SEE METHOD CS-WSP
CS-PF	CONTINUOUS PORTAL FRAME	SEE SECTION R002.10.4.1.1		SEE SECTION R002.10.4.1.1

For SI: 1 inch = 25.4 mm, 1 pound per square foot = 47.88 Pa.

BRACING : CONTINUOUS SHEATHING METHOD



FAMILY ROOM CROSS SECTION

GENERAL REMODELING PLANS

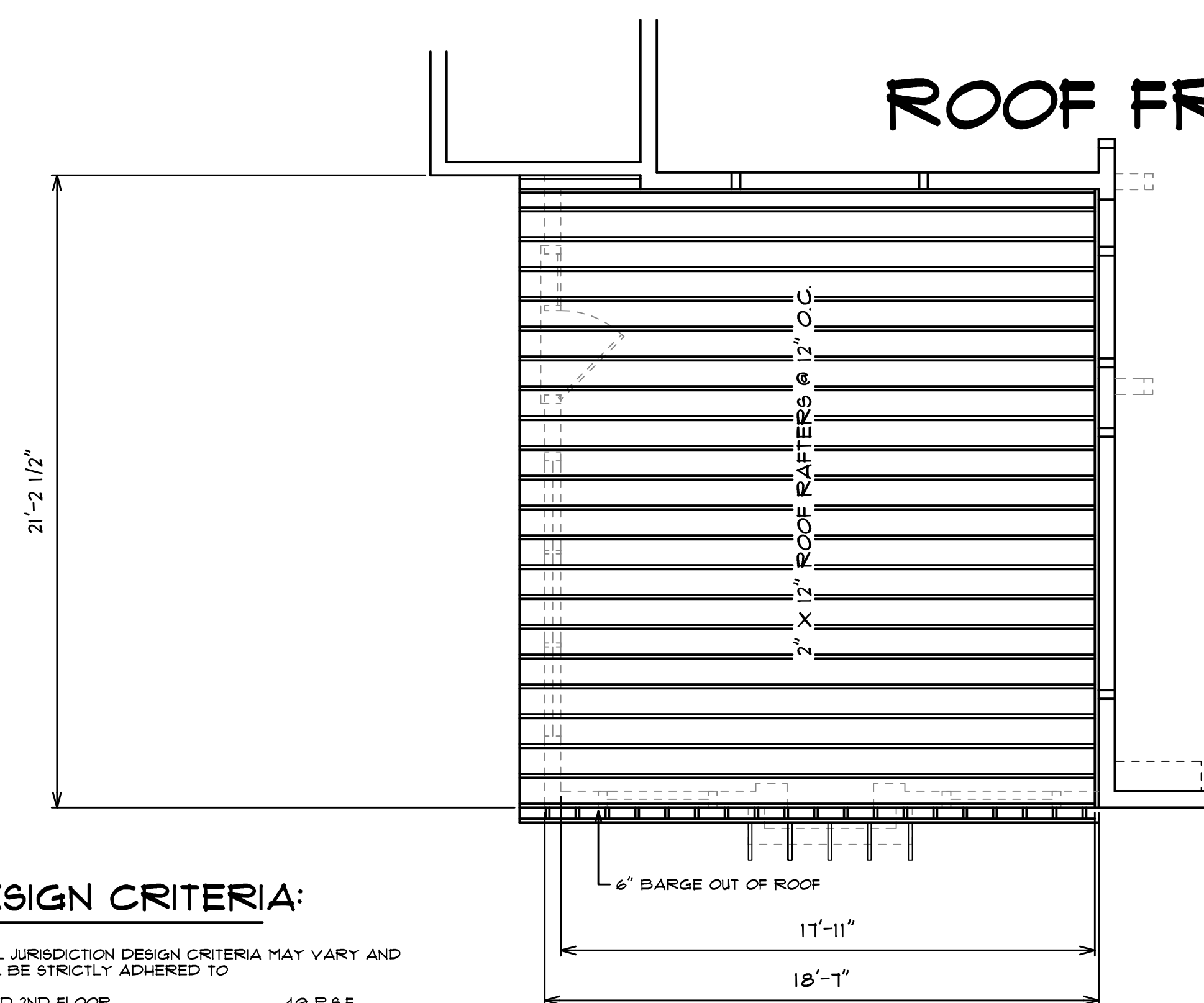
PLANS ARE FOR DESIGN PURPOSES, CONTRACTOR TO TAKE RESPONSIBILITY FOR CONSTRUCTING ADDITION IN ACCORDANCE TO MASS. STATE BUILDING CODES
CONTRACTOR SHALL FIELD MEASURE AND ADJUST ALL DIMENSIONS ON SITE AND GET MANUFACTURERS ENGINEERING ON ALL STRUCTURAL BEAMS AND JOISTS AND NOTIFY HOMEOWNER OF ANY CHANGES.

NEW ENGLAND DESIGN & REMODELING

DATE: 16 JAN., 2022	DRAWN BY: B.L. SAULNIER
REVISID: 02 FEB., 2023 12 MAY., 2023	PAGE: KARLIN 8

KARLIN FAMILY ROOM ADDITION

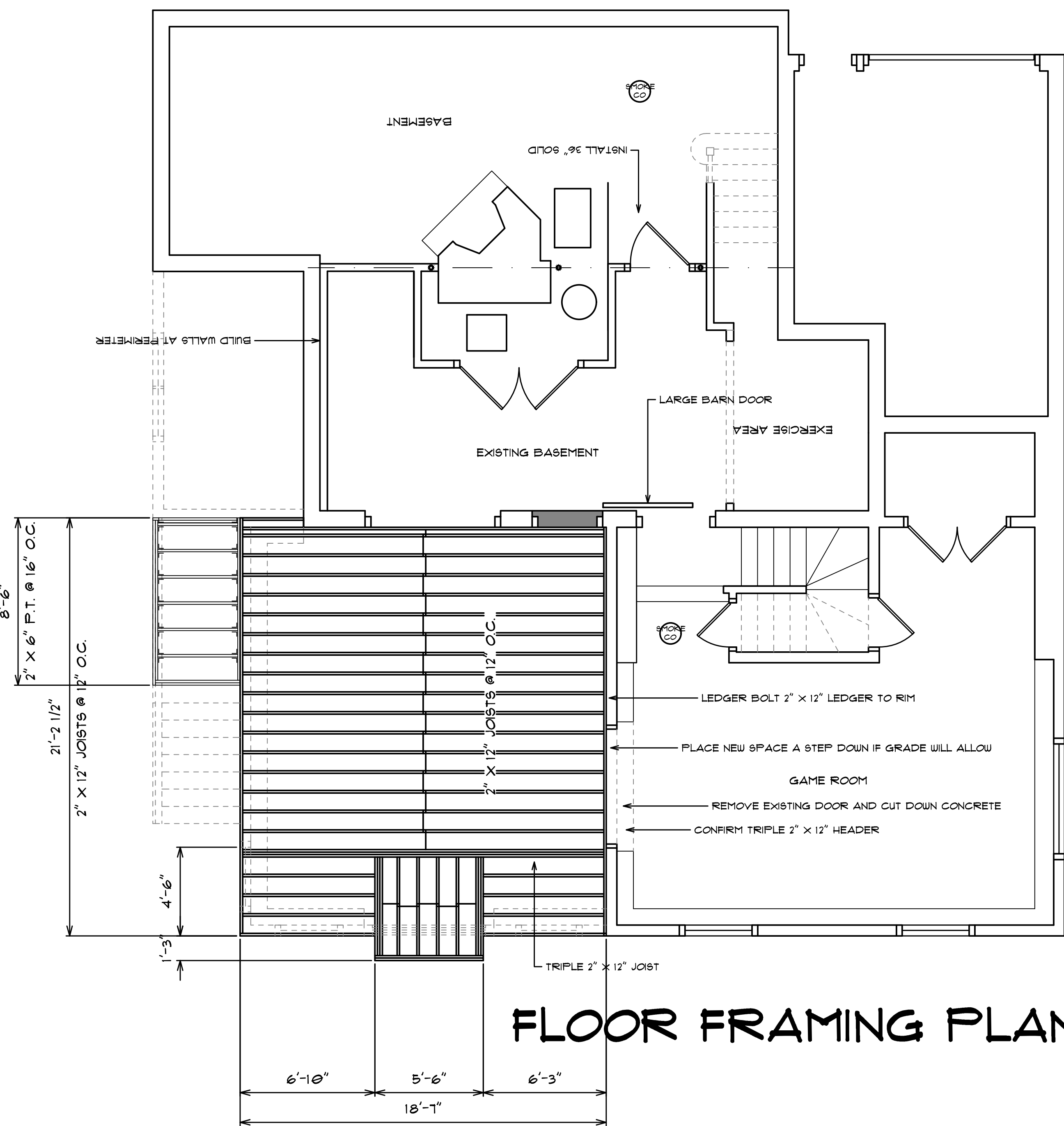
SCALE : 1/4" = 1' - 0"



DESIGN CRITERIA:

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND SHALL BE STRICTLY ADHERED TO	
1ST AND 2ND FLOOR LIVING AREA LIVE LOAD	40 P.S.F.
SLEEPING AND ATTIC AREA LIVE LOAD	30 P.S.F.
FLOOR DEAD LOAD	15 P.S.F.
GROUND SNOW LOAD	50 P.S.F.
ROOF DEAD LOAD	12 P.S.F.
ALLOWABLE SOIL BEARING	2500 P.S.F. AT MINIMUM 42" BELOW FINISHED GRADE
WIND SPEED	125 MPH, RISK CAT II
SEISMIC DESIGN	CATEGORY B
WEATHERING	SEVERE
FROST LINE DEPTH	48 INCHES
TERMITE DAMAGE	SLIGHT TO MODERATE
DECAY DAMAGE	NONE TO SLIGHT
WINTER DESIGN TEMPERATURE	1 DEGREE
ICE SHIELD UNDERLAYMENT	REQUIRED 24" INSIDE OF EXTERIOR WALL LINE
FLOOD HAZARD	FIRM - 2008
ROOF TIE DOWN REQUIREMENTS	R80211, BASED UPON SPECIFIC ROOF DESIGN

ALL FIRST FLOOR WINDOW R.O. HGT'S TO BE 6'-3 1/2" U.N.O.
ALL SECOND FLOOR WINDOW R.O. HGT'S TO BE 6'-3 1/2" U.N.O.
PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL
PROVIDE DE'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > 1' = 4'-0"
ALL ANGLES TO BE 45 DEG. U.N.O.
ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)X10'S OR (3)X12'S (U.N.O.)
ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER
SMOKE (SD) & CARBON MONOXIDE (CO) DETECTORS SHALL BE INSTALLED AS PER SECT. R314 OF 2015 IRC
THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS



FLOOR FRAMING PLAN

GENERAL REMODELING PLANS

PLANS ARE FOR DESIGN PURPOSES, CONTRACTOR TO TAKE RESPONSIBILITY FOR CONSTRUCTING ADDITION IN ACCORDANCE TO MASS. STATE BUILDING CODES
CONTRACTOR SHALL FIELD MEASURE AND ADJUST ALL DIMENSIONS ON SITE AND GET MANUFACTURERS ENGINEERING ON ALL STRUCTURAL BEAMS AND JOISTS AND NOTIFY HOMEOWNER OF ANY CHANGES.

NEW ENGLAND DESIGN & REMODELING



PROJECT:

KARLIN RESIDENCE
30 WILSHIRE PARK
NEEDHAM, MA

DRAWING TITLE:

REMODELING FLOOR PLANS
SCALE: 1/4" = 1' - 0"

DATE: 16 JAN., 2022	DRAWN BY: D.L. SAULNIER
REVISED: 02 FEB., 2023 12 MAY, 2023	PAGE: KARLIN 9

Daphne Collins

From: Tom Conroy
Sent: Tuesday, September 26, 2023 6:08 PM
To: Daphne Collins
Cc: Donald Anastasi; Jay Steeves; Ronnie Gavel
Subject: RE: ZBA Administrative Review - 30 Wilshire Park - Comment due October 10, 2023

Thanks Daphne,
Ok with Fire.



From: Daphne Collins <dcollins@needhamma.gov>
Sent: Tuesday, September 26, 2023 3:59 PM
To: Joseph Prondak <jprondak@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>
Subject: ZBA Administrative Review - 30 Wilshire Park - Comment due October 10, 2023

Good Afternoon All-

30 Wilshire Park – Jeremy and Jessica Karlin are seeking a Special Permit under Section 1.4.6. to alter, enlarge and extend a pre-existing, non-conforming single-family to allow the demolition of an existing deck and stairs and replace it with a basement and a family room above.

Attached please find the application with its associated back-up documents for your information and review.

I appreciate your comments no later than **October 10, 2023** to allow time for the applicant to respond prior to the hearing.

If you have any questions, feel free to contact me.

Thank you,
Daphne

Daphne M. Collins

Zoning Specialist

Phone 781-455-7550, x 261

Web <https://www.needhamma.gov/>

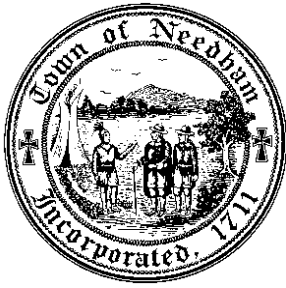
<https://needhamma.gov/1101/Board-of-Appeals>

www.needhamma.gov/NeedhamYouTube

Town of Needham
Planning and Community Development
500 Dedham Avenue
Needham, MA 02492

Regular Office Hours: Mon-Wed 8:30am – 5:00pm

Remote Hours: Thurs 8:30am-5:00pm



PLANNING & COMMUNITY DEVELOPMENT
PLANNING DIVISION

October 3, 2023

Mr. Jonathan Tamkin, Chair, and Members
Zoning Board of Appeals
Public Services Administration Building
500 Dedham Avenue
Needham, MA 02492

Dear Mr. Tamkin and Members of the Zoning Board of Appeals:

At its meeting of October 3, 2023, the Planning Board reviewed the applications to be heard by the Board of Appeals on October 19, 2023, and made the following recommendations:

1. **30 Wilshire Park** –Jeremy & Jessica Karlin, owners, applied for a Special Permit under Sections 1.4.6, and any other applicable section of the By-Law to alter, enlarge and extend a pre-existing, non-conforming single-family to allow the demolition of an existing deck and stairs and replace it with a basement and a family room above. The property is located at 30 Wilshire Park, Needham, MA in the Single-Residence B (SRB) District.

The subject proposal will require a variance. The property is currently conforming as to FAR at .37. In the SRB district the maximum permissible FAR is .38. The addition as proposed creates a noncompliant FAR of .42. This change is not permissible by special permit and will require a variance. Section 1.4.6 of the By Law states as follows: *“The issuance of a special permit hereunder shall not authorize the violation of any dimensional, parking or intensity regulations with which the structure or use was therefore in conformity.”* The Planning Board further notes that the ZBA should ensure that the proposal meets the Stormwater By-Law. (This was a vote of 3-0, as Planning Board Chair Adam Block recused himself).

2. **24 Webster Street** – Med A. Gharsallaoui, owner, applied for a Special Permit under Sections 1.4.6 and any other applicable section of the By-Law to alter, enlarge and extend a pre-existing, non-conforming single-family to allow the expansion and addition of the second story to accommodate two bedrooms and a bathroom on the second floor. The property is located at 24 Webster Street, Needham, MA in the Single-Residence B (SRB) District.

The Planning Board makes NO COMMENT.

NEEDHAM PLANNING BOARD

Lee Newman

Lee Newman
Director of Planning and Community Development

Daphne Collins

From: John Schlittler
Sent: Tuesday, September 26, 2023 4:05 PM
To: Daphne Collins
Subject: RE: ZBA Administrative Review - 30 Wilshire Park - Comment due October 10, 2023

Police has no issue with this

From: Daphne Collins <dcollins@needhamma.gov>
Sent: Tuesday, September 26, 2023 3:59 PM
To: Joseph Prondak <jprondak@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>
Subject: ZBA Administrative Review - 30 Wilshire Park - Comment due October 10, 2023

Good Afternoon All-

30 Wilshire Park – Jeremy and Jessica Karlin are seeking a Special Permit under Section 1.4.6. to alter, enlarge and extend a pre-existing, non-conforming single-family to allow the demolition of an existing deck and stairs and replace it with a basement and a family room above.

Attached please find the application with its associated back-up documents for your information and review.

I appreciate your comments no later than **October 10, 2023** to allow time for the applicant to respond prior to the hearing.

If you have any questions, feel free to contact me.

Thank you,
Daphne

Daphne M. Collins

Zoning Specialist

Phone 781-455-7550, x 261

Web <https://www.needhamma.gov/>

<https://needhamma.gov/1101/Board-of-Appeals>

www.needhamma.gov/NeedhamYouTube

Town of Needham

Planning and Community Development

500 Dedham Avenue

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Town of Needham
Building Department
500 Dedham Ave.
Needham, MA 02492

Tel. 781-455-7550 x 308

May 9, 2023

Town of Needham / Zoning Board of Appeals
500 Dedham Ave.
Needham, MA. 02492

Re: Application review for the December Hearing

30 Wilshire Park

Dear Board Members,

The applicants, Jessica and Jeremy Karlin, are seeking relief from the dimensional requirements of Section 4.2.1, to allow a proposed floor area ratio of .42 when only .38 is allowed.

The property lies in an SRB Zoning district and is considered pre-existing/ non-conforming with respect to lot area, frontage and the left-side setback. A plot plan by Elliot Paturzo, Professional Land Surveyor, dated 8/21/23 indicates that the existing FAR is .37 and that this aspect of the property is currently conforming.

Whereas Section 1.4.6 (Non-Conformance/ Alteration) prohibits the issuance of a Special Permit that would create a new dimensional non-conformity, a Variance would be required for this relief.

Sincerely,

Joe Prondak
Building Commissioner
Town of Needham

Daphne Collins

From: Tara Gurge
Sent: Tuesday, October 10, 2023 10:55 AM
To: Daphne Collins
Subject: RE: ZBA Administrative Review - 30 Wilshire Park - Comment due October 10, 2023

Daphne –

The Public Health Division conducted our Zoning Board review for the property located at **#30 Wilshire Park**. See comments noted below:

- Prior to these proposed extensive renovations/demolition, the owner must apply for this Demolition review online, via the Towns ViewPoint Cloud online permitting system through Public Health Division. See direct link to this permit review application- <https://needhamma.viewpointcloud.com/categories/1073/record-types/1006508>. This form will need to be completed along with the uploading of the required supplemental report documents for our review and approval (as noted on the form.) **PLEASE NOTE:** Pest control reports, along with the asbestos sampling reports, etc., must be uploaded to our online system for review and approval, prior to the issuance of a Demolition permit by the Building Department.
- On-going pest control must be conducted during demolition AND on-going pest control must be conducted throughout construction.

Please let us know if you have any follow-up questions or if you need any additional information from us on those requirements.

Thanks,



TARA E. GURGE, R.S., C.E.H.T., M.S. (she/her/hers)
ASSISTANT PUBLIC HEALTH DIRECTOR
Needham Public Health Division
Health and Human Services Department
178 Rosemary Street
Needham, MA 02494
Ph- (781) 455-7940; Ext. 211/Fax- (781) 455-7922
Mobile- (781) 883-0127
Email - tgurge@needhamma.gov
Web- www.needhamma.gov/health



 please consider the environment before printing this email

STATEMENT OF CONFIDENTIALITY

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ZBA Application For Hearing

Applicants must consult with the Building Inspector prior to filing this Application. Failure to do so will delay the scheduling of the hearing.

Applicant Information

Applicant Name	MED. A GHARSALLAOUI			Date:	9/20/23
Applicant Address	24 WEBSTER ST NEEDHAM MA 02494				
Phone	617-650-6615	email	ADNEN.GHARSALLAOUI@HOTMAIL.COM		
Applicant is ☐ Owner; ☐ Tenant; ☐ Purchaser; ☐ Other _____					
If not the owner, a letter from the owner certifying authorization to apply must be included					
Representative Name					
Address					
Phone		email			
Representative is ☐ Attorney; ☐ Contractor; ☐ Architect; ☐ Other _____					
Contact ☐ Me ☐ Representative in connection with this application.					

Subject Property Information

Property Address	24 WEBSTER ST		
Map/Parcel Number	197 087 032	Zone of Property	SRB
Is property within 100 feet of wetlands, 200 feet of stream or in flood Plain? ☒ Yes ☒ No			
Is property ☒ Residential or ☐ Commercial			
If residential renovation, will renovation constitute "new construction"? ☒ Yes ☐ No			
If commercial, does the number of parking spaces meet the By-Law requirement? ☐ Yes ☐ No			
Do the spaces meet design requirements? ☐ Yes ☐ No			
Application Type (select one): ☒ Special Permit ☐ Variance ☐ Comprehensive Permit ☐ Amendment ☐ Appeal Building Inspector Decision			



ZBA Application For Hearing

Existing Conditions: Single Family Pre-Existing Non-Conforming - Two Story In Front - One Story in the Back.

Statement of Relief Sought: Seeking to create a two story house. Enlarging the house by raising the second story taller. Add two Bedrooms and one Bathroom in the second floor

Applicable Section(s) of the Zoning By-Law:

Alter 1.4.6 Enlarge Lawfully Existing House

If application under Zoning Section 1.4 above, list non-conformities:

	Existing Conditions	Proposed Conditions
Use	Residential	Residential
# Dwelling Units	1	1
Lot Area (square feet)	7,747	7,747
Front Setback (feet)	33.3'	33.3'
Rear Setback (feet)	77.2	77.2'
Left Setback (feet)		
Right Setback (feet)	9.8'	9.8'
Frontage (feet)	52'	52'
Lot Coverage (%)	$1088/7747 = 0.14$	$1088/7747 = 0.14$
FAR (Floor area divided by the lot area)	$1638/7747 = 0.21$	$2176/7747 = 0.28$

Numbers must match those on the certified plot plan and supporting materials



ZBA Application For Hearing

Date Structure Constructed including additions:

1928

Date Lot was created:

1928

Submission Materials	Provided
Certified Signed Plot Plan of Existing and Proposed Conditions (Required)	✓
Application Fee, check made payable to the Town of Needham Check holders name, address, and phone number to appear on check and in the Memo line state: "ZBA Fee – Address of Subject Property" (Required)	✓
If applicant is tenant, letter of authorization from owner (Required)	
Electronic submission of the complete application with attachments (Required)	✓
Elevations of Proposed Conditions (when necessary)	✓
Floor Plans of Proposed Conditions (when necessary)	✓

Feel free to attach any additional information relative to the application.
Additional information may be requested by the Board at any time during the
application or hearing process.



I hereby request a hearing before the Needham Zoning Board of Appeals. I have
reviewed the Board Rules and instructions.

I certify that I have consulted with the Building Inspector

8/16/23
date of consult

Date: 9/20/23 Applicant Signature

An application must be submitted to the Town Clerk's Office at
townclerk@needhamma.gov and the ZBA Office at dcollins@needhamma.gov

TOWN OF NEEDHAM, MASSACHUSETTS

Building Inspection Department

Building Permit Number: _____

Assessor's Map & Parcel Number: 199-087-032

Lot Area: 7747 S.F.

Zoning District: S12 B

Owner: MEL ADNEN CHARSAIAOUI

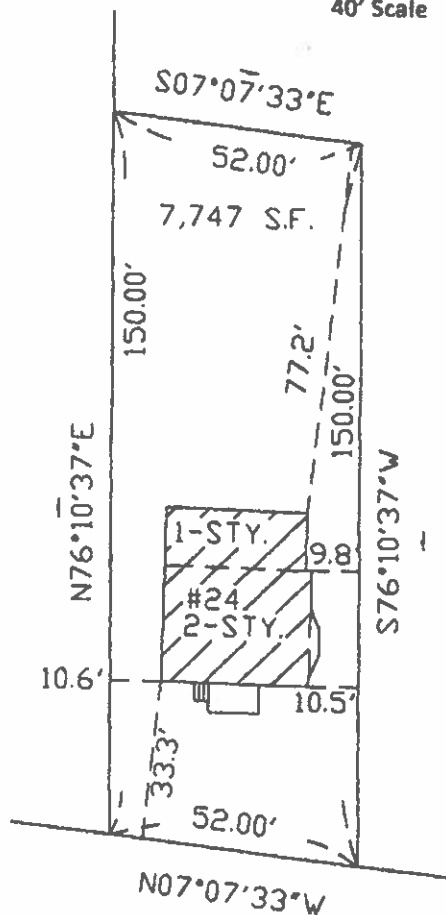
Address: 24 WEBSTER ST

Builder: _____

DEMO / PROPOSED PLOT PLAN / FOUNDATION AS-BUILT / FINAL AS-BUILT

Circle One that Applies

40' Scale



24 WEBSTER STREET



Note: Plot Plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public & private utilities, including water mains, sewers, drains, gas lines, etc.; driveways, septic systems, wells, Flood Plain and Wetland Areas, lot dimensions, lot size, dimensions of proposed structures, sideline, front and rear offsets and setback distances (measured to the face of structure) and elevation of top of foundations and garage floor. For new construction, lot coverage, building height calculations, proposed grading and drainage of recharge structures. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and sewage disposal system location in areas with no public sewer.

*Accessory structures may require a separate building permit — See Building Code.

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this 11 day of JULY, 2023.

Name: Paul F. Wocchie

Address: 4 Highland Ave City: Wakefield

Approved: _____

Approved: _____

Registered Land Surveyor Date: 7/11/23
State: MA Zip: 01880 Phone: 781-893-5473
Director of Public Works Date: _____
Building Inspector Date: _____

105 ²/₁
PLOT PLAN

To be drawn according to specifications set forth in Section VII-B, Zoning By-Laws of the Town of Needham.

WEBSTER

ST.

252.02 TO CENTRAL AVE

52.0

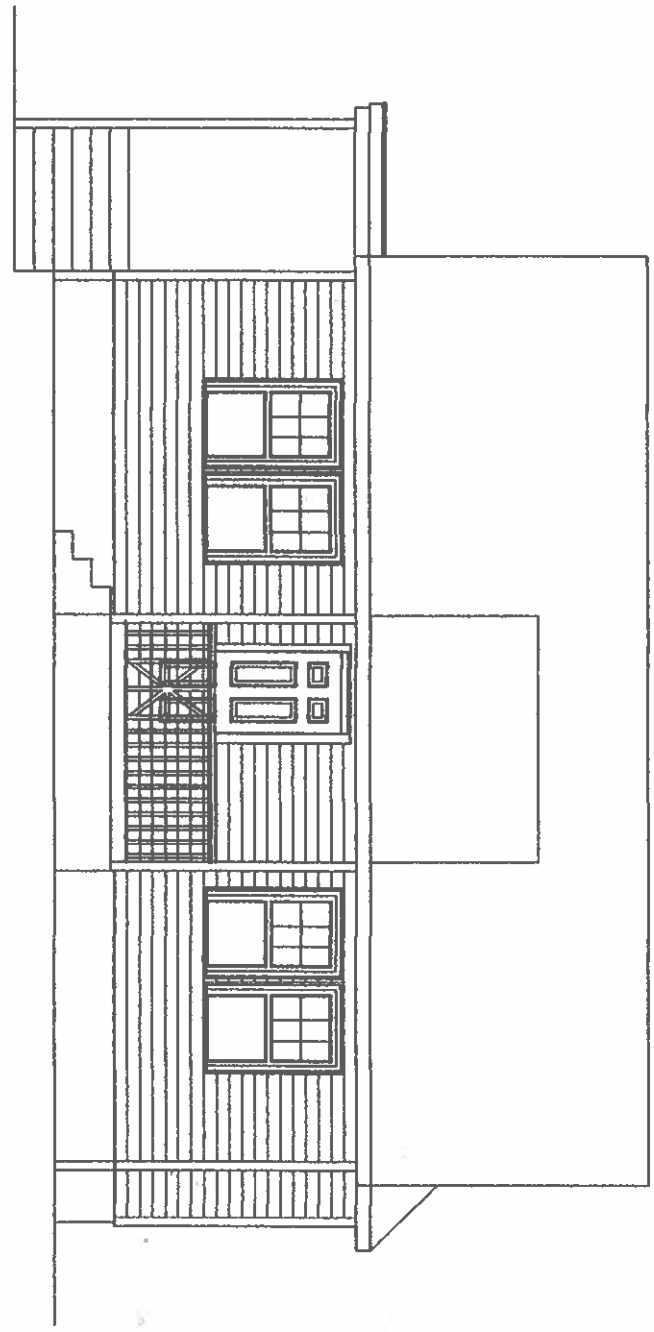
52.0
LOT 14-T



PROPOSED ADDITION SHOWN IN RED
CERTIFIED DEC. 16, 1966

1

Exist WEST ELEVATION_Street Side



	Residence Remodeling		EXIST. WEST ELEVATION		ARCHITECT:
	Imen Chikhaoui & Med. A Gharsallaoui 24 Webster Street Needham MA, 02494		SCALE: 1/4"=1'-0"	REVISIONS:	FAROUK F. YOUSSEF, AIA 53 EDGEWATER RD HULL, MA 02045
			DATE: August 4, 2020		TEL (617) 794-7811 EMAIL: farouk.youssef@gmail.com

A-6

8-5-2020



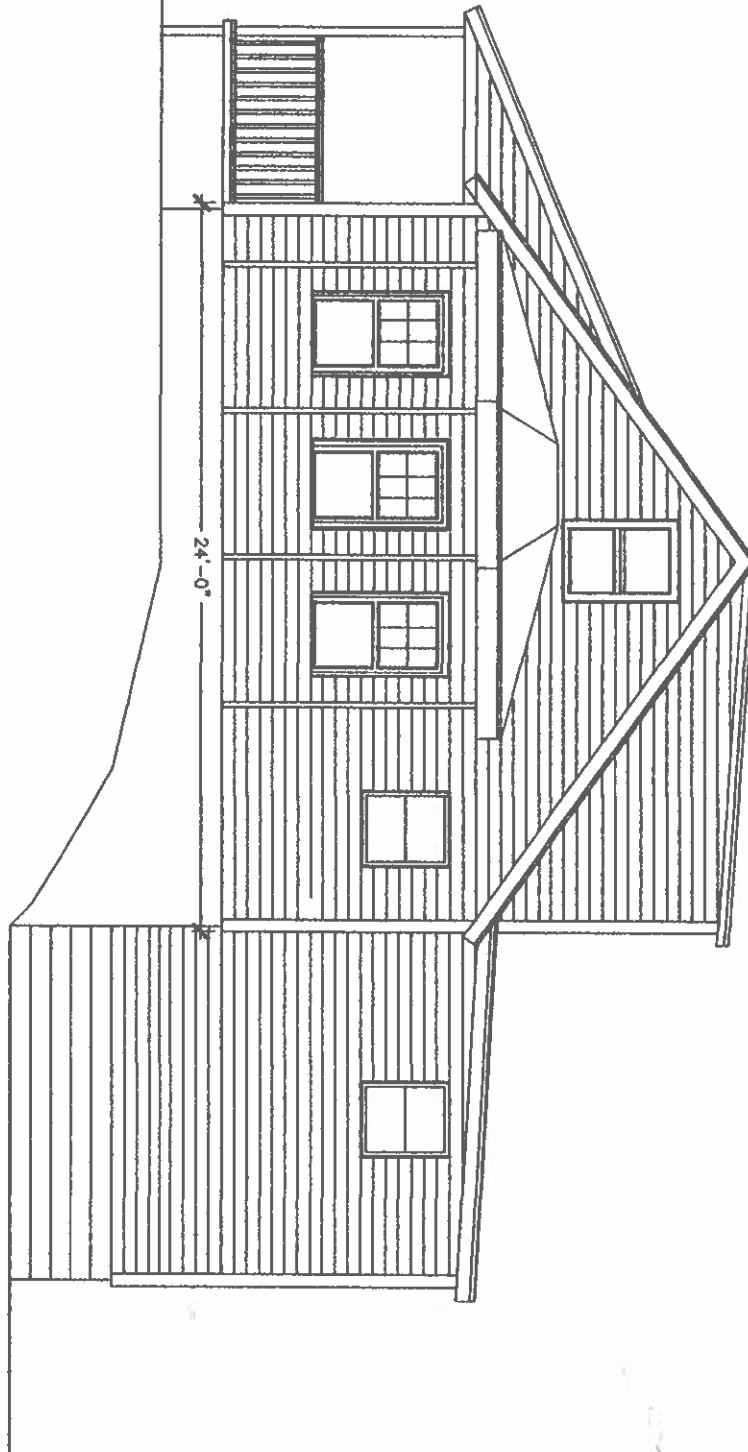
**Imen Chikhaoui
&
Med. A Gharsallaoui
24 Webster Street
Needham MA, 02494**

SCALE:
1/4"=1'-0"

DATE:
August 4, 2020

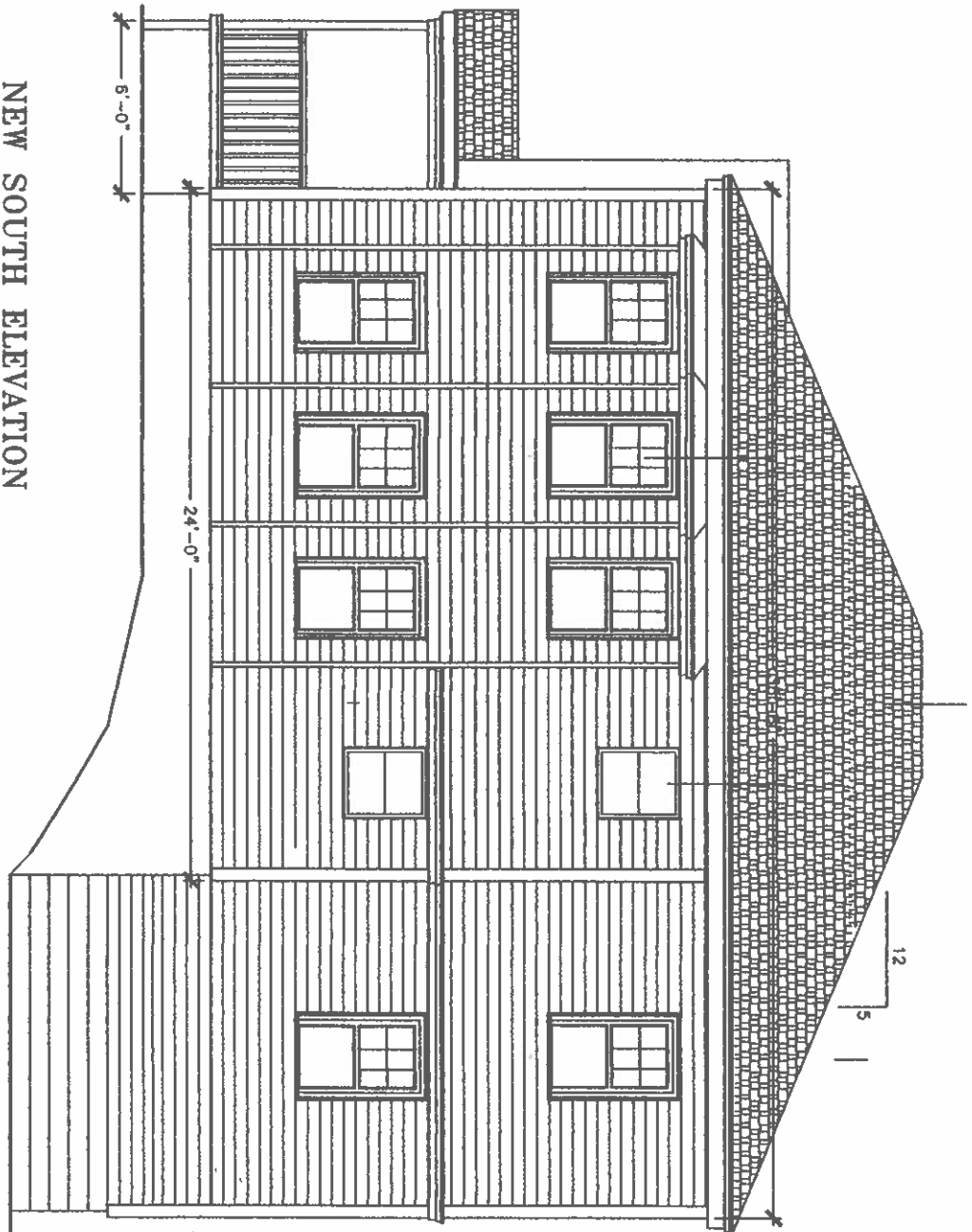
TEL (617) 794-7611
EMAIL: farouk.youssef@gmail.com

Exist SOUTH ELEVATION



IRVING 8-5-2020 A-3		Residence Remodeling		EXIST. SOUTH ELEVATION		ARCHITECT: FAROUK F. YOUSSEF, AIA 53 EDGEWATER RD HULL, MA 02045	
		Imen Chikhaoui & Med. A Gharsallaoui 24 Webster Street Needham MA, 02494		SCALE: 1/4"=1'-0" DATE: August 4, 2020		REVISIONS:	
						TEL (617) 794-7611 EMAIL: farouk.youssef@gmail.com	

NEW SOUTH ELEVATION



8-5-2020
A-10



Residence Remodeling

Imen Chikhaoui
&
Med. A Gharsallaoui
24 Webster Street
Needham MA, 02494

NEW SOUTH ELEVATION

SCALE:
1/4"=1'-0"
DATE:
August 4, 2020

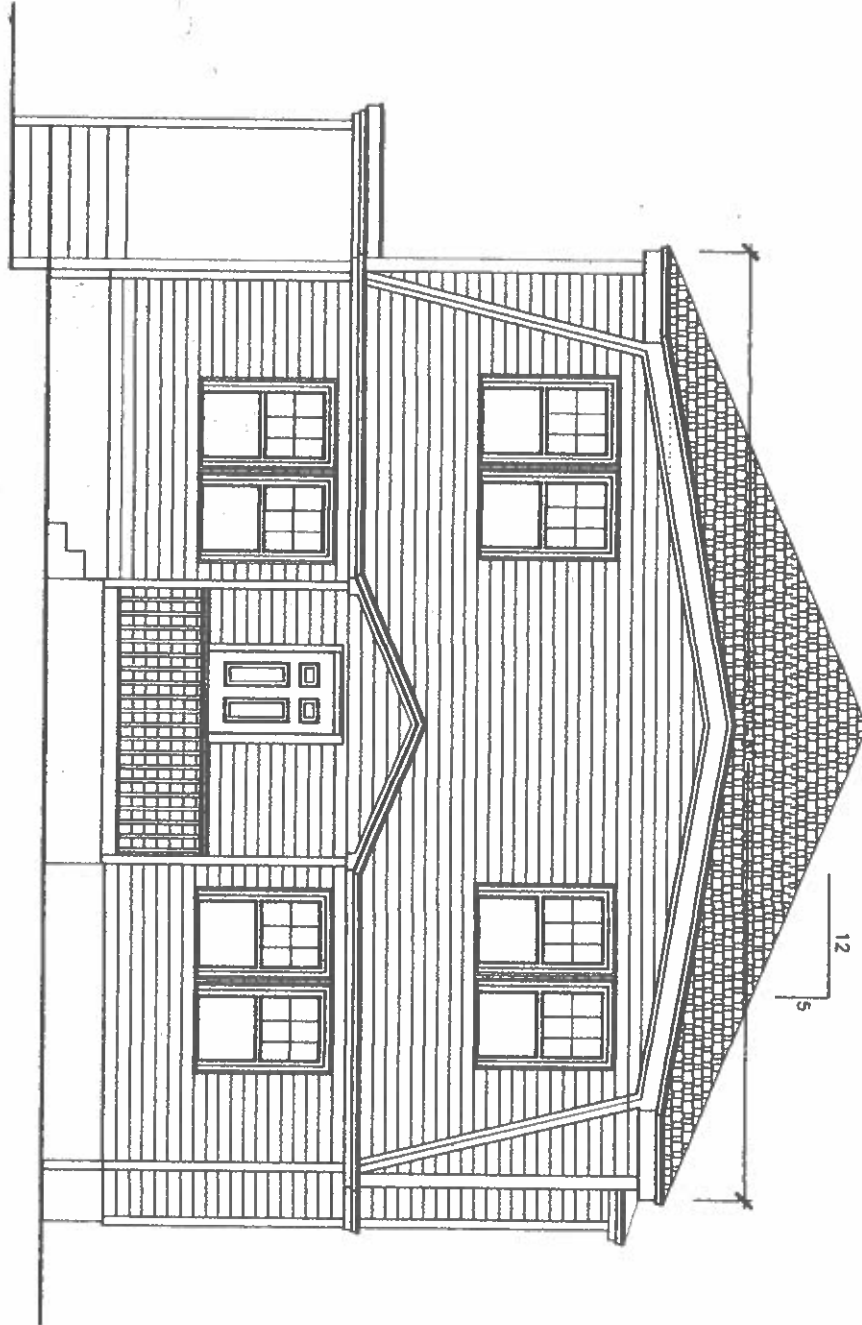
REVISIONS:

ARCHITECT:

FAROUK F. YOUSSEF, AIA
53 EDGEWATER RD
HULL, MA 02045

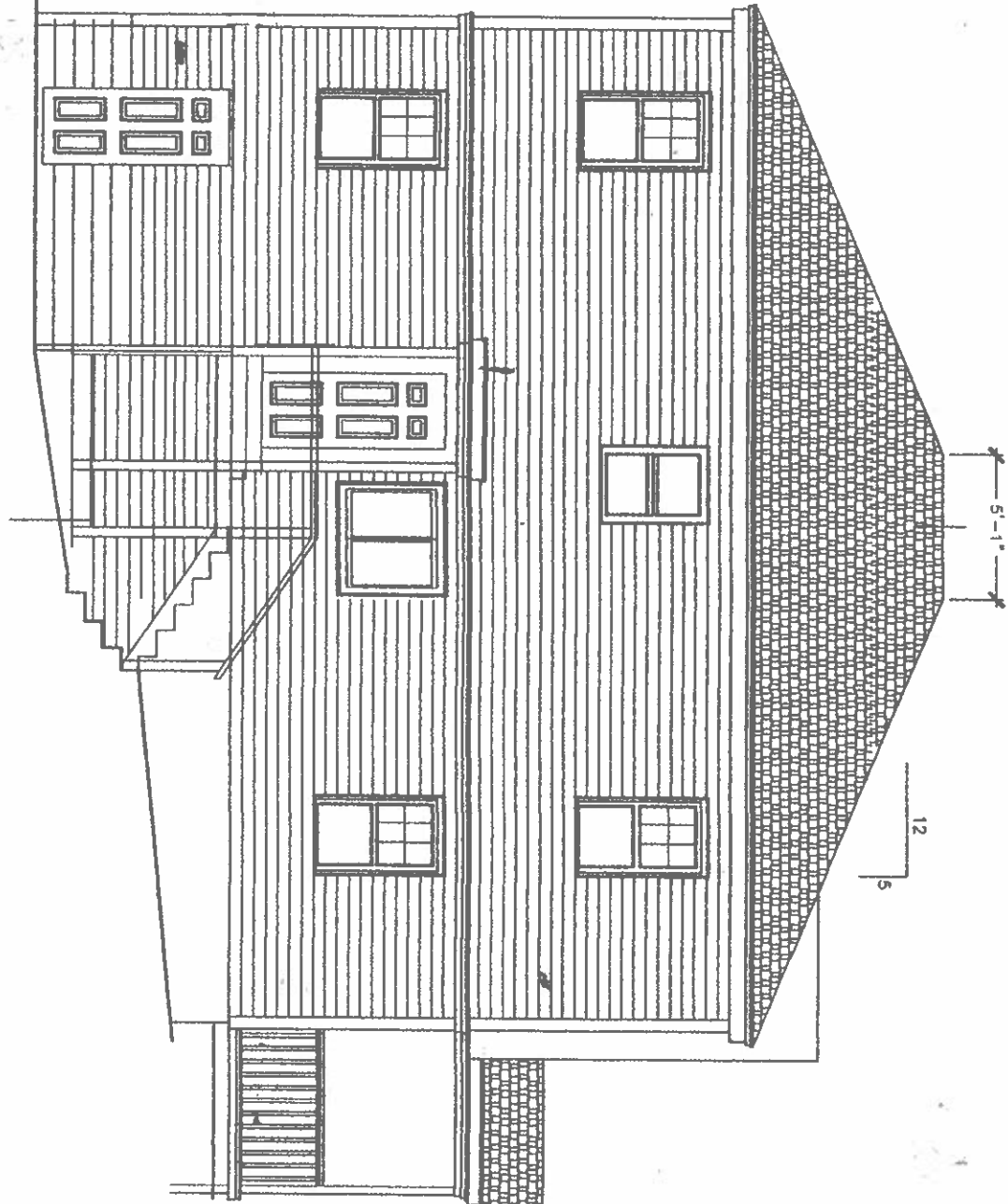
TEL (617) 794-7611
EMAIL: farouk.youssef@gmail.com

NEW WEST ELEVATION_Street Side



8-5-2020 DRAWING A-13	Residence Remodeling Imen Chikhaoui & Med. A Gharsallaoui 24 Webster Street Needham MA, 02494	NEW WEST ELEVATION		ARCHITECT:
		SCALE: 1/4"=1'-0" DATE: August 4, 2020	REVISIONS:	FAROUK F. YOUSSEF, AIA 53 EDGEWATER RD HULL, MA 02045 TEL (617) 794-7811 EMAIL: farouk.youssef@gmail.com

NEW NORTH ELEVATION



DRAWING A-12	8-5-2020 	Residence Remodeling		NEW NORTH ELEVATION		ARCHITECT:	
		Imen Chikhaoui & Med. A Gharsallaoui 24 Webster Street Needham MA, 02494		SCALE: 1/4"=1'-0" DATE: August 4, 2020		FAROUK F. YOUSSEF, AIA 53 EDGEWATER RD HULL, MA 02045 TEL (617) 794-7611 EMAIL: farouk.youssef@gmail.com	

Daphne Collins

From: Tom Conroy
Sent: Tuesday, October 10, 2023 1:20 PM
To: Daphne Collins
Cc: Donald Anastasi; Jay Steeves; Ronnie Gavel
Subject: RE: ZBA Administrative Review - 24 Webster Street - Due October 10, 2023

Hi Daphne,
All good with Fire dept.
Thank you!



Thomas M. Conroy

Fire Chief - Needham Fire Department

tconroy@needhamma.gov

Ph (781) 455-7580

From: Daphne Collins <dcollins@needhamma.gov>
Sent: Thursday, October 5, 2023 6:53 PM
To: Joseph Prondak <jprondak@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>
Subject: FW: ZBA Administrative Review - 24 Webster Street - Due October 10, 2023

Hi Folks-
Friendly early reminder since Monday is a holiday, the ZBA Administrative Review comments are due Tuesday, **October 10, 2023.**
Thanks,
Daphne

Daphne M. Collins

Zoning Specialist

Phone 781-455-7550, x 261

Web <https://www.needhamma.gov/>

<https://needhamma.gov/1101/Board-of-Appeals>

www.needhamma.gov/NeedhamYouTube

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From: Daphne Collins
Sent: Tuesday, September 26, 2023 4:04 PM
To: Joseph Prondak <jprondak@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; John Schlittler

Daphne Collins

From: Tara Gurge
Sent: Tuesday, October 10, 2023 10:52 AM
To: Daphne Collins
Subject: RE: ZBA Administrative Review - 24 Webster Street - Due October 10, 2023

Daphne –

The Public Health Division conducted our Zoning Board review for the property located at **#24 Webster St.** See comments noted below:

- Prior to these proposed extensive renovations/demolition, the owner must apply for this Demolition review online, via the Towns ViewPoint Cloud online permitting system through Public Health Division. See direct link to this permit review application- <https://needhamma.viewpointcloud.com/categories/1073/record-types/1006508>. This form will need to be completed along with the uploading of the required supplemental report documents for our review and approval (as noted on the form.) **PLEASE NOTE:** Pest control reports, along with the asbestos sampling reports, etc., must be uploaded to our online system for review and approval, prior to the issuance of a Demolition permit by the Building Department.
- On-going pest control must be conducted during demolition AND on-going pest control must be conducted throughout construction.

Please let us know if you have any follow-up questions or if you need any additional information from us on those requirements.

Thanks,



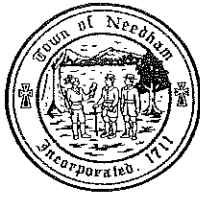
TARA E. GURGE, R.S., C.E.H.T., M.S. (she/her/hers)
ASSISTANT PUBLIC HEALTH DIRECTOR
Needham Public Health Division
Health and Human Services Department
178 Rosemary Street
Needham, MA 02494
Ph- (781) 455-7940; Ext. 211/Fax- (781) 455-7922
Mobile- (781) 883-0127
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Web- www.needhamma.gov/health



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**TOWN OF NEEDHAM, MASSACHUSETTS
PUBLIC WORKS DEPARTMENT
500 Dedham Avenue, Needham, MA 02492
Telephone (781) 455-7550 FAX (781) 449-9023**

October 11, 2023

Needham Zoning Board of Appeals
Needham Public Safety Administration Building
Needham, MA 02492

RE: Case Review-Special Permit
24 Webster St- Special Permit

Dear Members of the Board,

The Department of Public Works has completed its review of the above referenced Special Permit for the proposed 2 story addition to an existing single-family home seeking relief for side yard setback.

The documents submitted for review are as follows:

- Application for Special Permit dated 09/20/23;
- Certified Plot Plan by Paul Finocchio Dated 7/11/23
- Plan of original proposed addition Dated 12/16/1966
- Architectural Plans prepared by Farouk F Youssef consisting of 6 sheets dated 8/4/2020

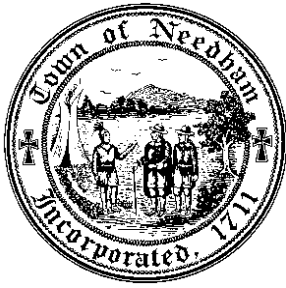
Our comments and recommendations are as follows:

- We have no comment or objection to the relief.

If you have any questions regarding the above, please contact our office at 781-455-7538.

Truly yours,

Thomas A Ryder
Town Engineer



PLANNING & COMMUNITY DEVELOPMENT
PLANNING DIVISION

October 3, 2023

Mr. Jonathan Tamkin, Chair, and Members
Zoning Board of Appeals
Public Services Administration Building
500 Dedham Avenue
Needham, MA 02492

Dear Mr. Tamkin and Members of the Zoning Board of Appeals:

At its meeting of October 3, 2023, the Planning Board reviewed the applications to be heard by the Board of Appeals on October 19, 2023, and made the following recommendations:

1. **30 Wilshire Park** –Jeremy & Jessica Karlin, owners, applied for a Special Permit under Sections 1.4.6, and any other applicable section of the By-Law to alter, enlarge and extend a pre-existing, non-conforming single-family to allow the demolition of an existing deck and stairs and replace it with a basement and a family room above. The property is located at 30 Wilshire Park, Needham, MA in the Single-Residence B (SRB) District.

The subject proposal will require a variance. The property is currently conforming as to FAR at .37. In the SRB district the maximum permissible FAR is .38. The addition as proposed creates a noncompliant FAR of .42. This change is not permissible by special permit and will require a variance. Section 1.4.6 of the By Law states as follows: *“The issuance of a special permit hereunder shall not authorize the violation of any dimensional, parking or intensity regulations with which the structure or use was therefore in conformity.”* The Planning Board further notes that the ZBA should ensure that the proposal meets the Stormwater By-Law. (This was a vote of 3-0, as Planning Board Chair Adam Block recused himself).

2. **24 Webster Street** – Med A. Gharsallaoui, owner, applied for a Special Permit under Sections 1.4.6 and any other applicable section of the By-Law to alter, enlarge and extend a pre-existing, non-conforming single-family to allow the expansion and addition of the second story to accommodate two bedrooms and a bathroom on the second floor. The property is located at 24 Webster Street, Needham, MA in the Single-Residence B (SRB) District.

The Planning Board makes NO COMMENT.

NEEDHAM PLANNING BOARD

Lee Newman

Lee Newman
Director of Planning and Community Development

Daphne Collins

From: John Schlittler
Sent: Tuesday, September 26, 2023 4:10 PM
To: Daphne Collins
Subject: RE: ZBA Administrative Review - 24 Webster Street - Due October 10, 2023

Only concern would be for construction parking. This is a route that is used heavily for commuter and school drop off. Having construction vehicles impeding the lane of travel may create a road hazard.

Thanks,

Chief John J Schlittler
Needham Police Department
88 Chestnut St
Needham, MA 02492
Office: (781-455-7583)
Fax: (781-453-9496)
FBINA 259
jschlittler@needhamma.gov

From: Daphne Collins <dcollins@needhamma.gov>
Sent: Tuesday, September 26, 2023 4:04 PM
To: Joseph Prondak <jprondak@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>
Subject: ZBA Administrative Review - 24 Webster Street - Due October 10, 2023

Good Afternoon All-

24 Webster Street – Med A. Gharsallaoui is seeking a Special Permit under Sections 1.4.6, and any other applicable section of the By-Law to alter, enlarge and extend a pre-existing, non-conforming single-family to allow the expansion and addition of the second story to accommodate two bedrooms and a bathroom on the second floor.

Attached please find the application with its associated back-up documents for your information and review.

I appreciate your comments no later than **October 10, 2023** to allow time for the applicant to respond prior to the hearing.

If you have any questions, feel free to contact me.

Thank you,
Daphne

Daphne M. Collins
Zoning Specialist



Zoning Board of Appeals
Public Services Administration Building
500 Dedham Avenue
Needham, MA 02492

To: Zoning Board of Appeals

From: Jonathan D. Tamkin, Chair

Re: *Article V, Section 2 Withdrawal*, Proposed Board Rules Amendment

Date: October 2, 2023

To reflect more accurately **MGL 40A, Section 16** *Withdrawal of Petitions for Variance or Applications for Special Permit* (See Attached), I propose we discuss to amend our current **Board of Appeals Rules – Article V, Section 2 Withdrawal** to reference the granting of the withdrawal without prejudice based on the timing of the Applicant’s request for withdrawal associated with the publication of the notice of hearing. In discussion with Town Counsel, it was observed that the Board’s current Rules are not in complete alignment with MGL 40A.

Article V Section 2. Withdrawal - Current

An application may be withdrawn by notice in writing to the clerk at any time prior to the hearing by the Board. After commencement of a hearing, a petition or application may be withdrawn only with the consent of the Board which shall determine whether the withdrawal is without prejudice to refiling at any time or with prejudice subjecting the applicant to the provisions of Section 4 below.

Article V Section 2. Withdrawal – Proposed

An application may be withdrawn by notice in writing to the clerk at any time prior to the hearing by the Board. Prior to the publication of the notice of hearing, an application may be withdrawn without prejudice. ~~After commencement of a hearing, Thereafter~~ a petition or application may be withdrawn only with the consent of the Board which shall determine whether the withdrawal is without prejudice to refiling at any time or with prejudice subjecting the applicant to the provisions of Section 4 below.

Attachment

cc: Chris Heep, Town Counsel

Part I	ADMINISTRATION OF THE GOVERNMENT
Title VII	CITIES, TOWNS AND DISTRICTS
Chapter 40A	ZONING
Section 16	FINAL UNFAVORABLE DECISIONS BY PERMIT GRANTING AUTHORITIES; RECONSIDERATION; WITHDRAWAL OF PETITIONS FOR VARIANCE OR APPLICATIONS FOR SPECIAL PERMIT

Section 16. No appeal, application or petition which has been unfavorably and finally acted upon by the special permit granting or permit granting authority shall be acted favorably upon within two years after the date of final unfavorable action unless said special permit granting authority or permit granting authority finds, by a unanimous vote of a board of three members or by a vote of four members of a board of five members or two-thirds vote of a board of more than five members, specific and material changes in the conditions upon which the previous unfavorable action was based, and describes such changes in the record of its proceedings, and unless all but one of the members of the planning board consents thereto and after notice is given to parties in interest of the time and place of the proceedings when the question of such consent will be considered.

Any petition for a variance or application for a special permit which has been transmitted to the permit granting authority or special permit granting authority may be withdrawn, without prejudice by the petitioner prior to the publication of the notice of a public hearing thereon, but thereafter be withdrawn without prejudice only with the approval of the special permit granting authority or permit granting authority.