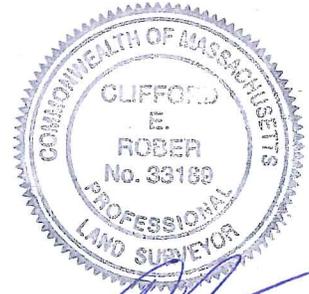
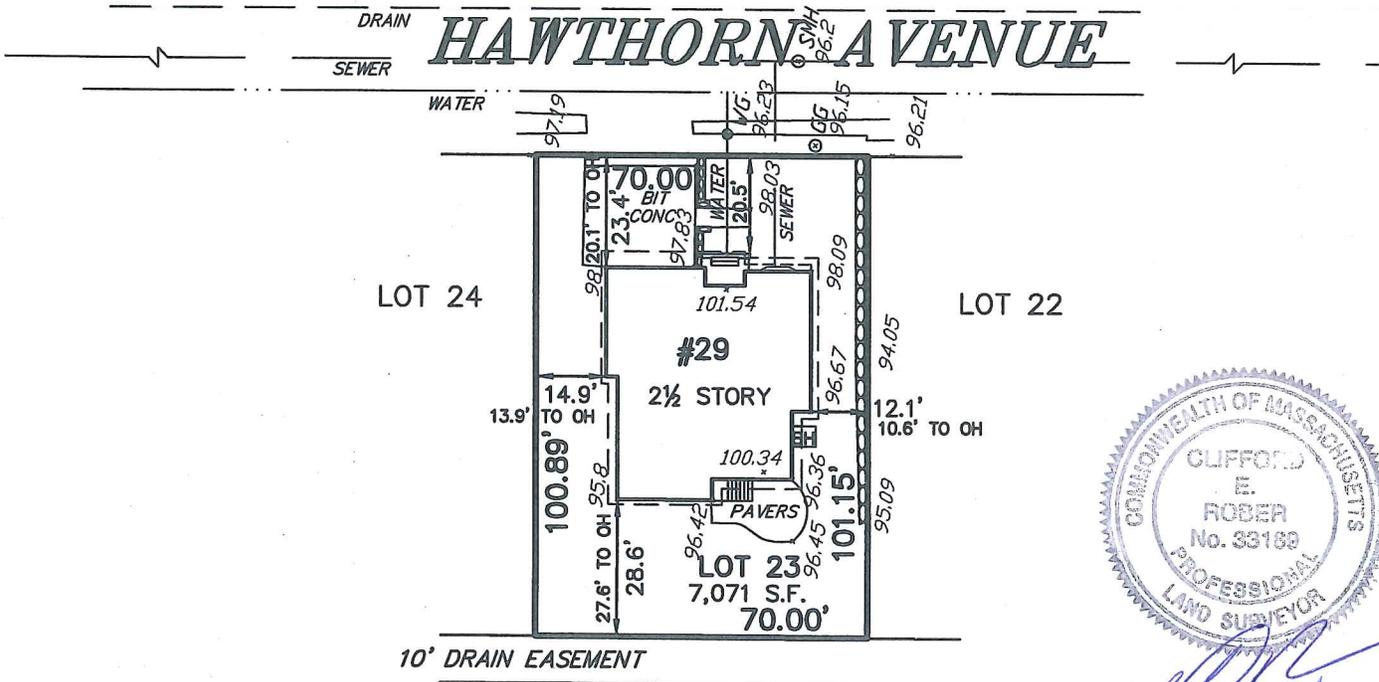


# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

Building Permit No. \_\_\_\_\_ At No. #29 HAWTHORN AVENUE  
 Lot Area 7,071 S.F. Zoning District SINGLE RESIDENCE B  
 Owner HAWTHORN INVESTMENTS LLC Builder HAWTHORN BUILDERS

### AS-BUILT PLOT PLAN 40' Scale



*Cliff*  
9/15/14

BUILDING RIDGE ELEVATION = 131.1  
 BUILDING HEIGHT = 34.0  
 BASEMENT = 92.6  
 LOT COVERAGE = 26.0%  
 AVERAGE GRADE = 97

R-4032

Note: Plot Plans shall be drawn in accordance with Section 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering street line. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
 (\*Accessory structures may require a separate building permit - See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.  
 The above is subscribed to and executed by me this 5th day of SEPTEMBER, 20 14.  
 Name CLIFFORD E. ROBER Registered Land Surveyor No. 33189  
 Address 1072A MASSACHUSETTS AVENUE City ARLINGTON State MA Zip 02476 Tel No. (781)648-5533  
 Approved [Signature] Director of Public Works Date 9/26/14  
 Approved [Signature] Building Inspector Date 9/26/14



29 Hawthorn Ave

# TOWN OF NEEDHAM, MASSACHUSETTS

ENG

## Building Inspection Department

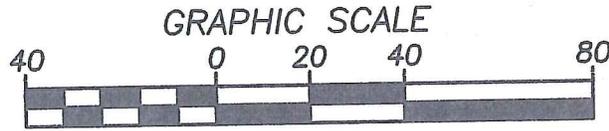
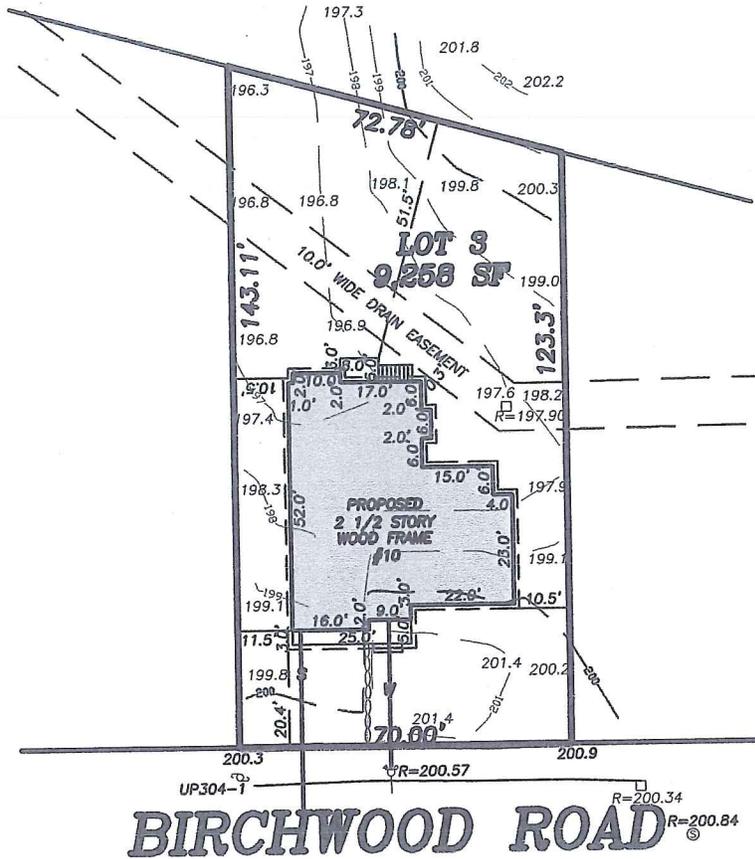
Assessor's Map & Parcel No. MAP 138; PARCEL 39  
 Building Permit No. B12040970 At No. 10 BIRCHWOOD ROAD  
 Lot Area 9,258 SF Zoning District SRB  
 Owner \_\_\_\_\_ Builder \_\_\_\_\_

PROPOSED LOT COVERAGE = 21%

PLOT PLAN  
40 Scale

Field Resources, Inc.

LAND SURVEYORS  
 P.O. Box 324 281 Chestnut Street  
 Auburn, MA 01501 Needham, MA 02492  
 508 832 4332 781 444 5936  
 fieldresources@hotmail.com



095-14

Note: Plot plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
 (\*Accessory structures may require a separate building permit - See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.  
 The above is subscribed to and executed by me this 14TH day of JULY 2014  
 Name Bradley J. Simonelli, PLS Registered Land Surveyor No 47581  
 Address 281 CHESTNUT ST City NEEDHAM State MA Zip 02492 Tel No 781-444-5936  
 Approved [Signature] Director of Public Works Date 8/27/14  
 Approved [Signature] Building Inspector Aug 13, 2014 JKH



10 Birchwood Rd

# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

MAP 54 LOT 93

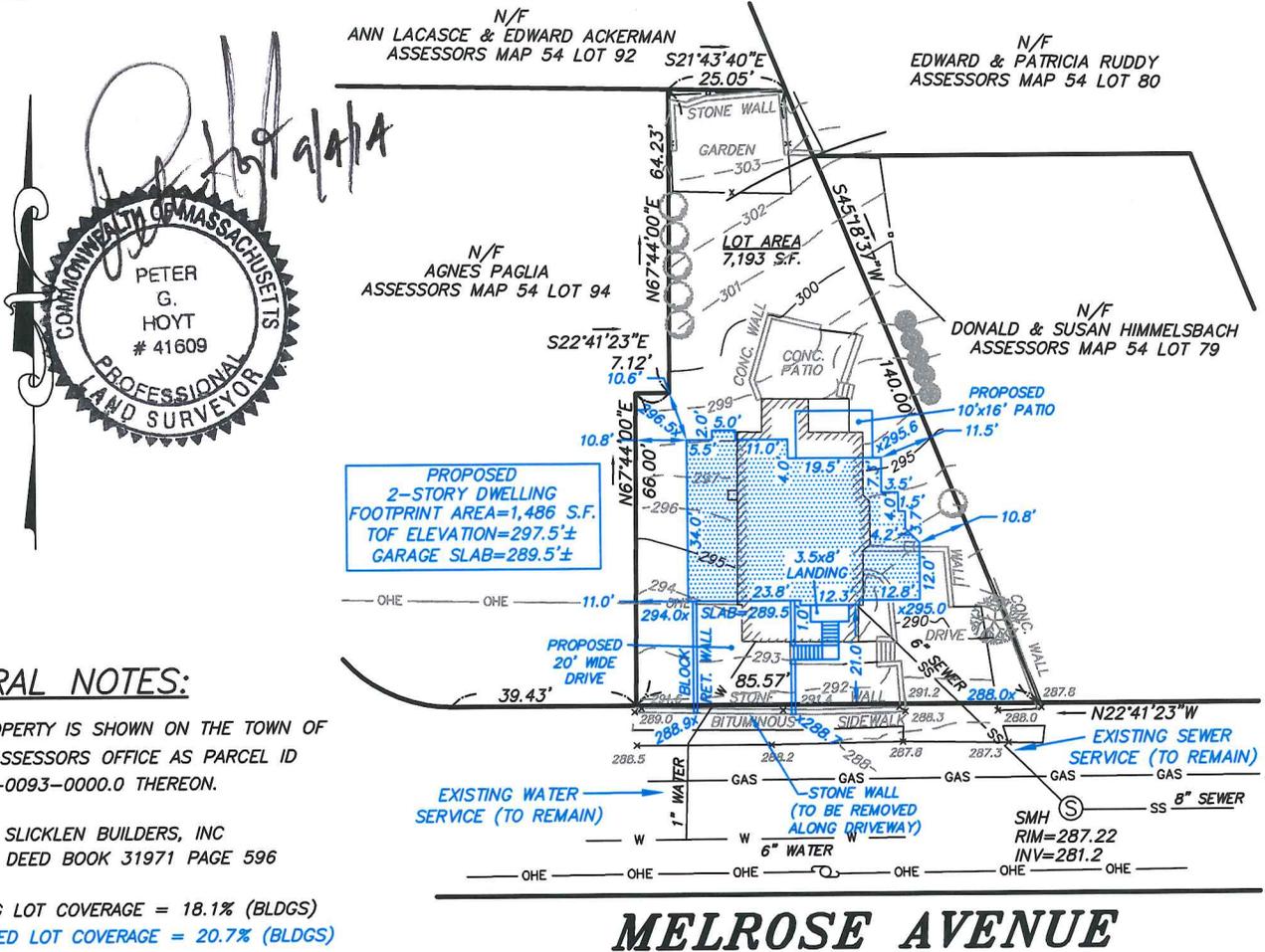
Assessor's Map & Parcel No. \_\_\_\_\_

Building Permit No. B120141120 At No. 10 MELROSE AVENUE

Lot Area 7,193 S.F. Zoning District SINGLE RESIDENCE B

Owner \_\_\_\_\_ Builder \_\_\_\_\_

### PLOT PLAN 40' Scale



### GENERAL NOTES:

1. THE PROPERTY IS SHOWN ON THE TOWN OF NEEDHAM ASSESSORS OFFICE AS PARCEL ID 199/054.0-0093-0000.0 THEREON.
2. OWNER: SLICKLEN BUILDERS, INC  
DEED BOOK 31971 PAGE 596
3. EXISTING LOT COVERAGE = 18.1% (BLDGS)  
PROPOSED LOT COVERAGE = 20.7% (BLDGS)

Note: Plot Plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
(\*Accessory structures may require a separate building permit — See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this 27TH day of AUGUST 2014.

Name PETER HOYT Registered Land Surveyor No. 41609

Address 1287 WASHINGTON ST. City WEYMOUTH State MA Zip 02189 Tel. No. 781-682-9192

Approved [Signature] Director of Public Works Date 9/25/14

Approved [Signature] Building Inspector Date 9-12-2014

JEN



10 Melrose Avenue

# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

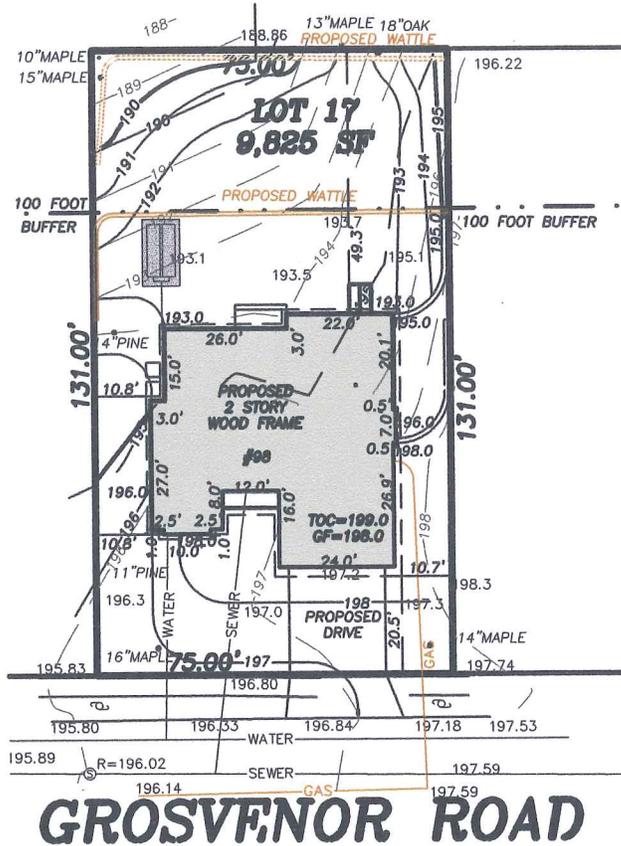
Assessor's Map & Parcel No. MAP 13 PARCEL 20  
 Building Permit No. B12015073 At No. 98 GROSVENOR ROAD  
 Lot Area 9825 SF Zoning District SRB  
 Owner \_\_\_\_\_ Builder \_\_\_\_\_

PLOT PLAN  
40 Scale

Field Resources, Inc.

LAND SURVEYORS  
 P.O. Box 324 281 Chestnut Street  
 Auburn, MA 01501 Needham, MA 02492  
 508 832 4332 781 444 5936  
 fieldresources@hotmail.com

PROPOSED LOT COVERAGE = 23.4%



132-14

Note: Plot plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
 (\*Accessory structures may require a separate building permit - See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.  
 The above is subscribed to and executed by me this 6TH day of MARCH 2015  
 Name Bradley J. Simonelli, PLS Registered Land Surveyor No 47581  
 Address 281 CHESTNUT ST City NEEDHAM State MA Zip 02492 Tel No 781-444-5936  
 Approved [Signature] Director of Public Works Date 3/18/15  
 Approved [Signature] Building Inspector Date 3/9/15  
 JEN



98 Grosvenor Road

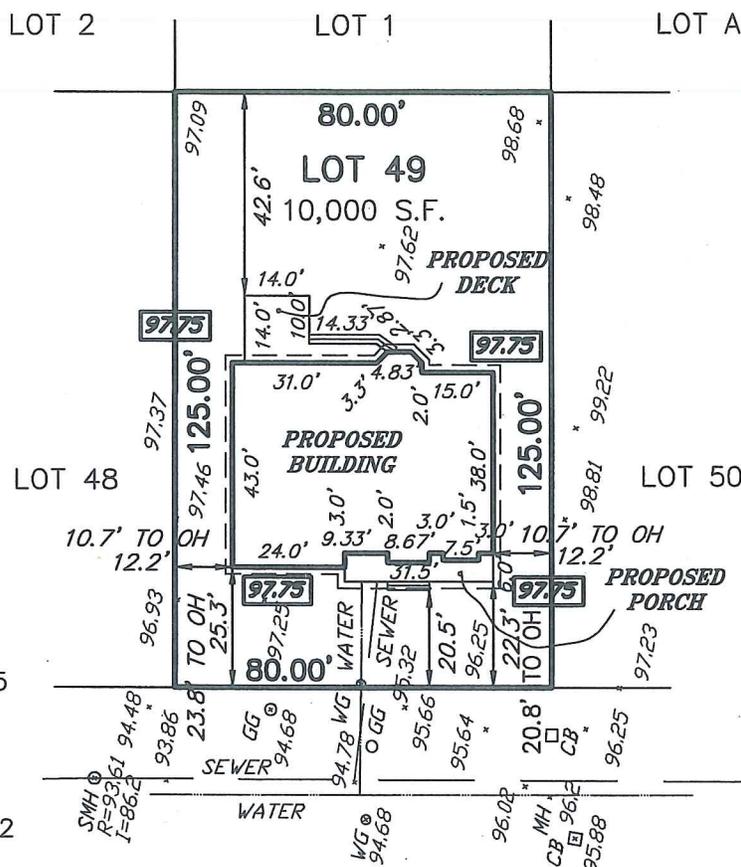
ENG

# TOWN OF NEEDHAM, MASSACHUSETTS

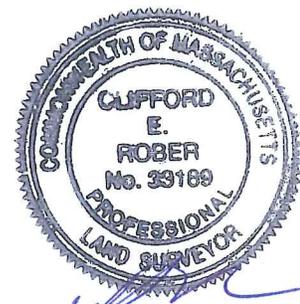
## Building Inspection Department

Building Permit No. B120141649 At No. #100 DAMON ROAD  
Lot Area 10,000 S.F. Zoning District SINGLE RESIDENCE B  
Owner \_\_\_\_\_ Builder HAWTHORN BUILDERS

PLOT PLAN  
40' Scale



AVERAGE GRADE = 97.75  
FIRST FLOOR = 100.0  
TOP OF WALL = 98.7  
RIDGE HEIGHT = 132.36  
HEIGHT = 34.61  
BASEMENT FLOOR = 91.12  
LOT COVERAGE = 23.0%



*[Handwritten signature]*

SWH @ R=93.61 I=86.2  
GG @ 94.48  
VG @ 94.68  
MH @ 96.1  
CB @ 95.88  
GG @ 100.42  
I=85.7  
GG @ 100.41

Note: Plot Plans shall be drawn in accordance with Section 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering street line. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
(\*Accessory structures may require a separate building permit - See Building Code)

R4395

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.  
The above is subscribed to and executed by me this 6th day of NOVEMBER, 20 14.  
Name CLIFFORD E. ROBER Registered Land Surveyor No. 33189  
Address 1072A MASSACHUSETTS AVENUE City ARLINGTON State MA Zip 02476 Tel No. (781)648-5533  
Approved R.P. Merson Director of Public Works Date 1/6/15  
Approved [Signature] Building Inspector Date 12/29/14

JEN



100 Damon Road

# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

Assessor's Map & Parcel No. MAP 125 PARCEL 10

Building Permit No. \_\_\_\_\_ At No. 105 DAMON ROAD

Lot Area 11,371 SF Zoning District SRB

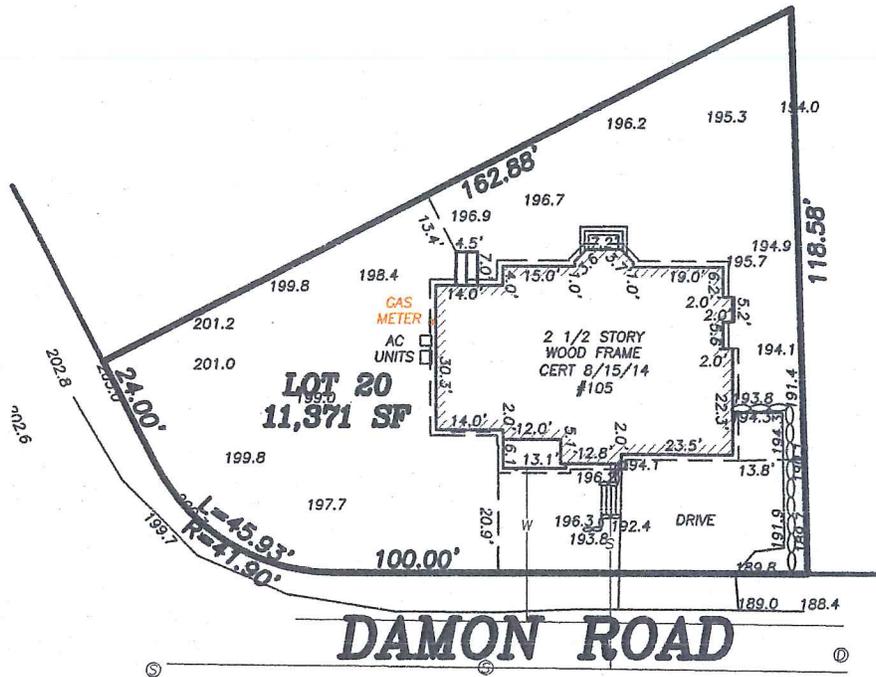
Owner \_\_\_\_\_ Builder \_\_\_\_\_

PLOT PLAN  
40 Scale

Field Resources, Inc.

LAND SURVEYORS

P.O. Box 324 281 Chestnut Street  
Auburn, MA 01501 Needham, MA 02492  
508 832 4332 781 444 5936  
fieldresources@hotmail.com



AS BUILT LOT COVERAGE = 21%

180-13

Note: Plot plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
(\*Accessory structures may require a separate building permit - See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this 18TH day of AUGUST 2014

Name Bradley J. Simonelli, PLS Registered Land Surveyor No 47581

Address 281 CHESTNUT ST City NEEDHAM State MA Zip 02492 Tel No 781-444-5936

Approved [Signature] Director of Public Works

Date 8/19/14

Approved \_\_\_\_\_ Building Inspector

JEC



105 Damon Road

# TOWN OF NEEDHAM, MASSACHUSETTS

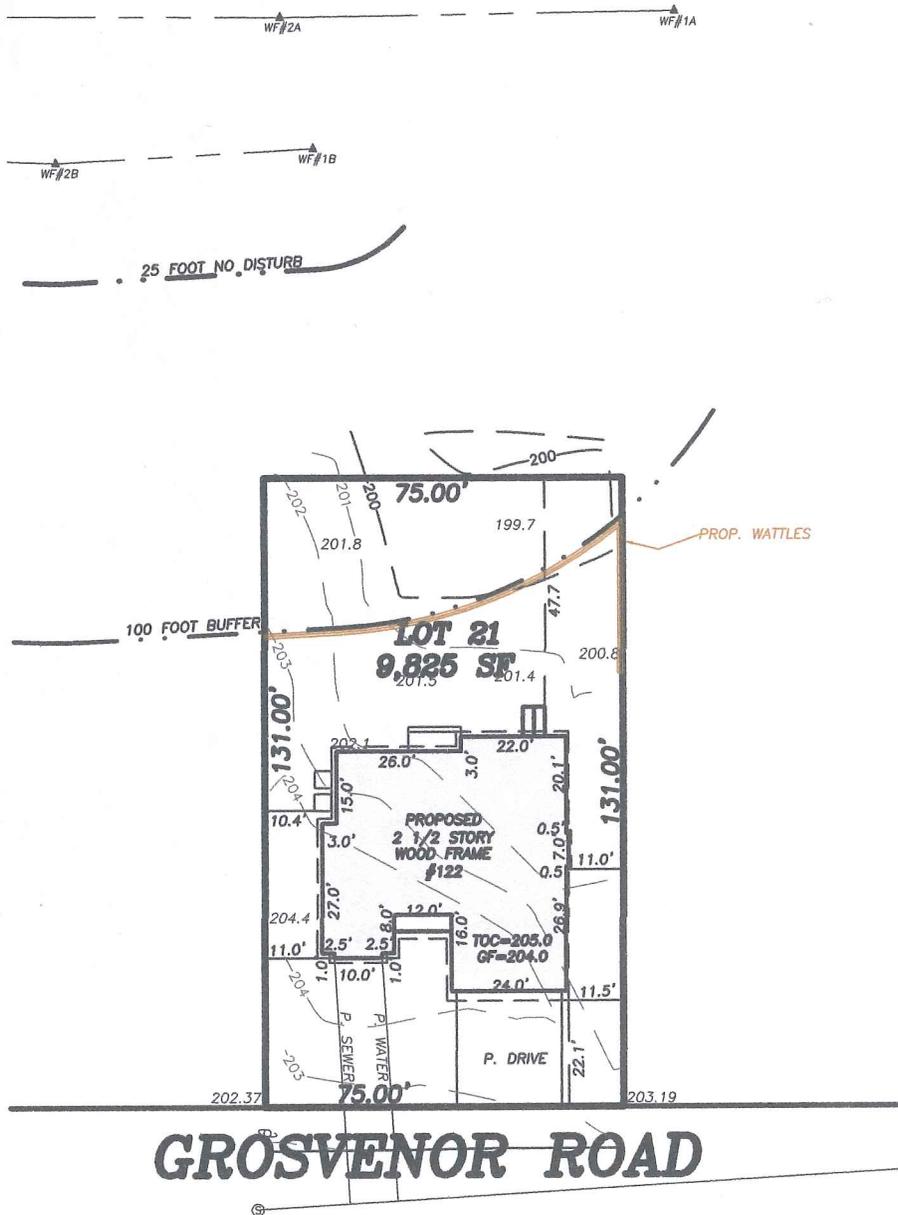
## Building Inspection Department

Assessor's Map & Parcel No. MAP 13 PARCEL 38  
Permit No. B120140199 At No. 122 GROSVENOR ROAD  
9,825 SF Zoning District SRB  
Builder \_\_\_\_\_

PLOT PLAN  
40 Scale

Field Resources, Inc.

LAND SURVEYORS  
P.O. Box 324 281 Chestnut Street  
Auburn, MA 01501 Needham, MA 02492  
508 832 4332 781 444 5936  
fieldresources@hotmail.com



PROPOSED LOT COVERAGE = 23

077-13

Note: Plot plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
(\*Accessory structures may require a separate building permit - See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this 20TH day of FEBRUARY 2014

Name Bradley J. Simonelli, PLS Registered Land Surveyor No 47581

Address 281 CHESTNUT ST City NEEDHAM State MA Zip 02492 Tel No 781-444-5936

Approved [Signature] Director of Public Works Date 3/11/14

Approved [Signature] Building Inspector Date Feb 25, 2014

JEA



122 Grosvenor Road

# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

Blaw

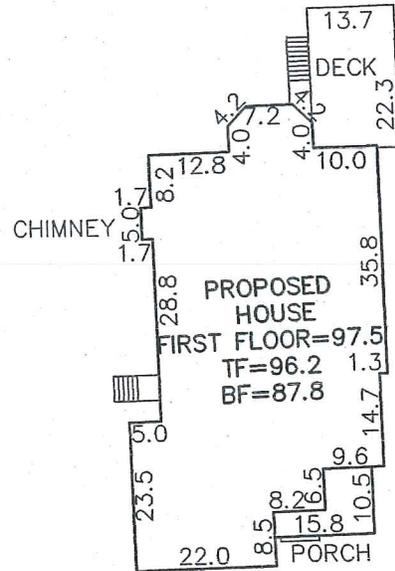
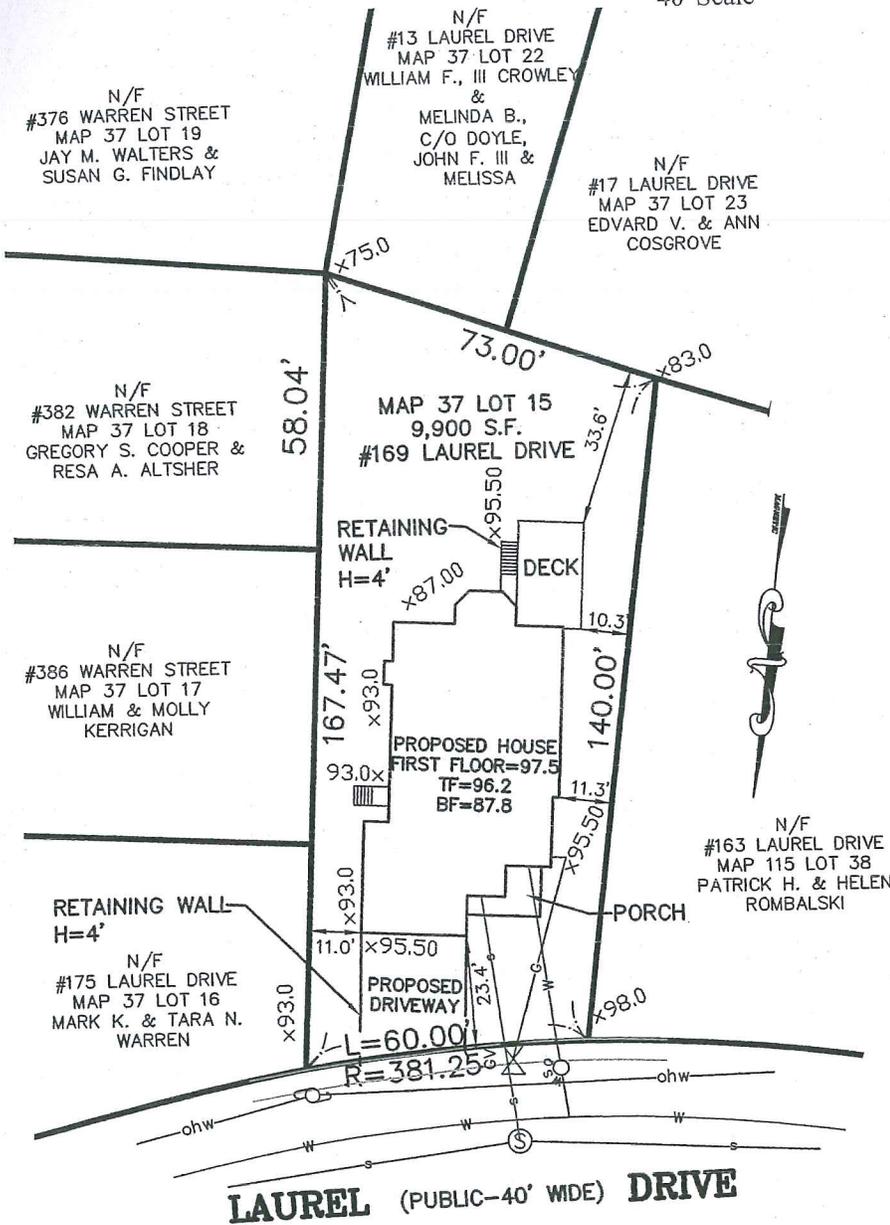
Assessor's Map & Parcel No. 37 LOT 15

Building Permit No. B120140361 At No. 169 LAUREL DRIVE

Lot Area 9.990 S.F. Zoning District SRB

Owner HILLCREST DEVELOPMENT Builder DAINIUS KUPER

**PLOT PLAN**  
40' Scale



SCALE: 1"=30'

LOT COVERAGE=23.4%  
OPEN SPACE=69.9%  
HEIGHT OF PROPOSED DWELLING 34.8'  
FROM AVERAGE GRADE TO THE RIDGE OF ROOF



4/7/14

Note: Plot Plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at streetline and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area. (\*Accessory structures may require a separate building permit — See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.  
The above is subscribed to and executed by me this 7 day of APRIL 20 14.  
Name A. MATTHEW BELSKI, JR. Registered Land Surveyor No. 37557  
Address 35 MAPLE ST. City W. NEWBURY State MA Zip \_\_\_\_\_ Tel. No. (978) 363-8130  
Approved [Signature] Director of Public Works Date 4/18/14  
Approved [Signature] Building Inspector Date 4/14/14



169 Laurel Drive

Eng

# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

Assessor's Map & Parcel No. 199/037.0-0082-0000.0

Building Permit No. B120141098

Zoning District SRB

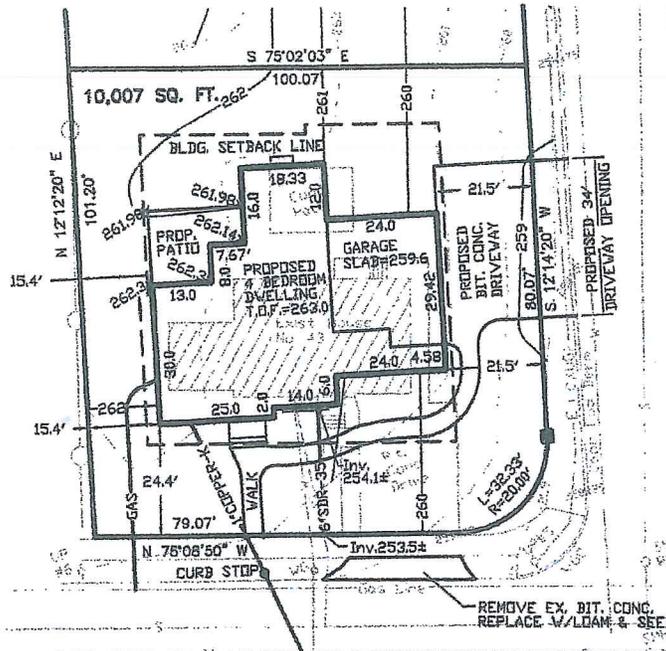
Lot Area 10,007 SF Address 43 NORFOLK STREET

Owner MARINO LAND DEVELOPMENT, LLC Builder SALVATORE A. BELTONE

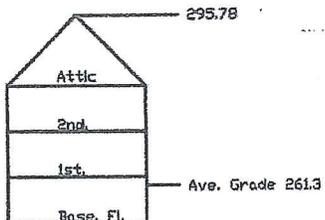
### PLOT PLAN

40' Scale

1. LOT IS NOT LOCATED IN A FLOOD PLAIN
2. LOCATION OF EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD
3. LOT COVERAGE = 24.77%



HEATH STREET



Building Height = Highest Roof Elev. - Ave. Grade Elev.  
34.48' = 295.78 - 261.3

## NORFOLK STREET



Note: Plot Plans shall be drawn in accordance with Sections 7.2.1 and 7.2.3 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gas lines, etc.; driveways, Flood Plain and Wetland Areas (including FEMA 100-year Flood Hazard Areas, Needham Flood Plain Districts, 100-foot Buffer Zones and 200-foot Riverfront Areas), lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, lot coverage, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering street line. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.

(\* Accessory structures may require a separate building permit — See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this 4 day of 5005 20 14  
 Name DENNIS O'BRIEN Registered Land Surveyor No. 40046  
 Address 11 CONCORD STREET City FRANKLIN State MA Zip 02038 Tel. No. (508) 541-0048  
 Approved [Signature] Director of Public Works Date 9/11/14  
 Approved [Signature] Building Inspector Date 9.4.2014 form

581



43 Norfolk Street

# TOWN OF NEEDHAM, MASSACHUSETTS

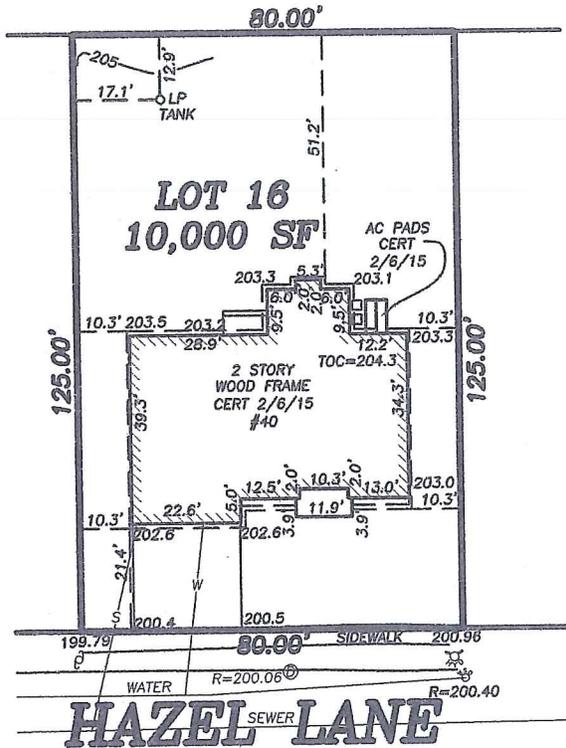
## Building Inspection Department

Assessor's Map & Parcel No. MAP 67 PARCEL 15  
 Building Permit No. B120140413 At No. 40 HAZEL LANE  
 Lot Area 10,000 SF Zoning District SRB  
 Owner \_\_\_\_\_ Builder \_\_\_\_\_

PLOT PLAN  
40 Scale

Field Resources, Inc.

LAND SURVEYORS  
 P.O. Box 324 281 Chestnut Street  
 Auburn, MA 01501 Needham, MA 02492  
 508 832 4332 781 444 5936  
 fieldresources@hotmail.com



AS-BUILT LOT COVERAGE = 23%

014-14

Note: Plot plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
 (\*Accessory structures may require a separate building permit - See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.  
 The above is subscribed to and executed by me this 6TH day of FEBRUARY 2015  
 Name Bradley J. Simonelli, PLS 47581 Registered Land Surveyor No 47581  
 Address 281 CHESTNUT ST City NEEDHAM State MA Zip 02492 Tel No 781-444-5936  
 Approved R. P. Derson Director of Public Works Date 3/3/15  
 Approved L. Lewis Building Inspector Date 3/3/15

JH



40 Hazel Lane

# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

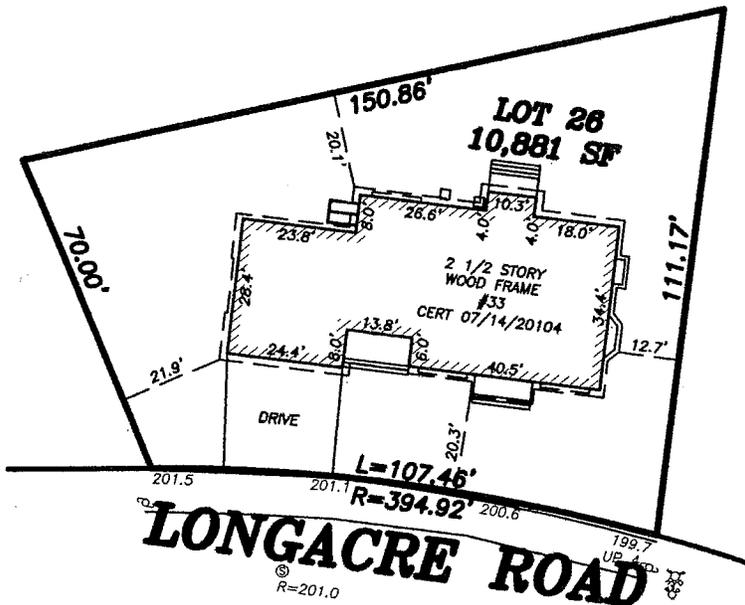
Assessor's Map & Parcel No. MAP 08 PARCEL 24  
 Building Permit No. \_\_\_\_\_ At No. 33 LONGACRE ROAD  
 Lot Area 10,881 SF Zoning District SRB  
 Owner \_\_\_\_\_ Builder \_\_\_\_\_

PLOT PLAN  
40 Scale

Field Resources, Inc.

LAND SURVEYORS  
 P.O. Box 324 281 Chestnut Street  
 Auburn, MA 01501 Needham, MA 02492  
 508 832 4332 781 444 5936  
 fieldresources@hotmail.com

AS-BUILT LOT COVERAGE = 23%



190-13

Note: Plot plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
 (\*Accessory structures may require a separate building permit - See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.  
 The above is subscribed to and executed by me this 14TH day of JULY 2014  
 Name Bradley J. Simonelli, PLS Registered Land Surveyor No 47581  
 Address 281 CHESTNUT ST City NEEDHAM State MA Zip 02492 Tel No 781-444-5936  
 Approved R. P. Merson Director of Public Works Date 7/17/14  
 Approved [Signature] Building Inspector Date 7/18/14

JB4



33 Longacre Road

ENG

# TOWN OF NEEDHAM, MASSACHUSETTS

## BUILDING INSPECTION DEPARTMENT

Assessor's Map & Parcel No: MAP 199 PARCEL 0078

Building Permit No. **B20141564**

At No: 24 GARY ROAD, NEEDHAM, MA

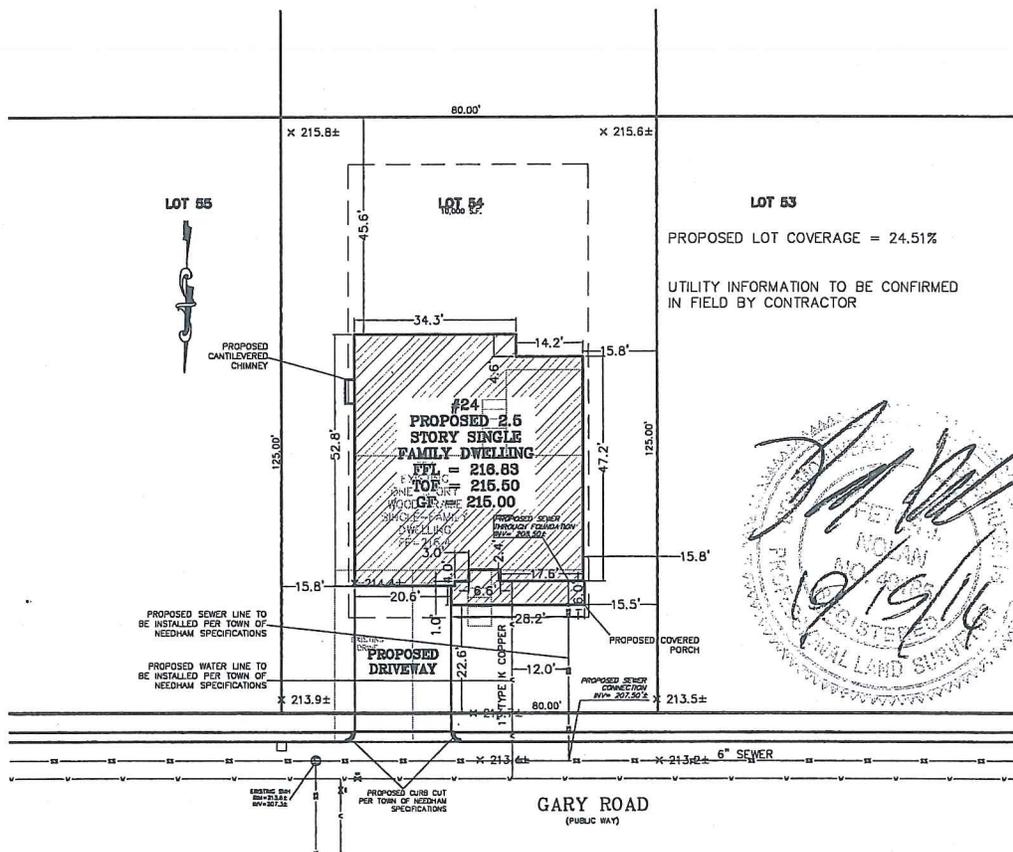
Lot Area: 10,000 S.F

Zoning District: SRB

Owner: JTCA, LLC

Builder: PLATINUM CONTRACTING

### PLOT PLAN SCALE= 1"= 40'



Note: Plot Plans shall be drawn in accordance with sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. all plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.: driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor for new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.

(\*Accessory structures may require a separate building permit- See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this: 15 day of: OCTOBER 2014

Name: PETER J. NOLAN Registered Land Surveyer #: 49185

Address: 697 CAMBRIDGE STREET #103 City: BRIGHTON State: MA Zip: 02135 Tel. No: 617-782-1533/

*Ray J. Wilson* Director of Public Works  
*Blair Fontaine* Building Inspector

Date 12/31/14  
 Date 12-9-2014

*M*



24 Gary Rd

# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

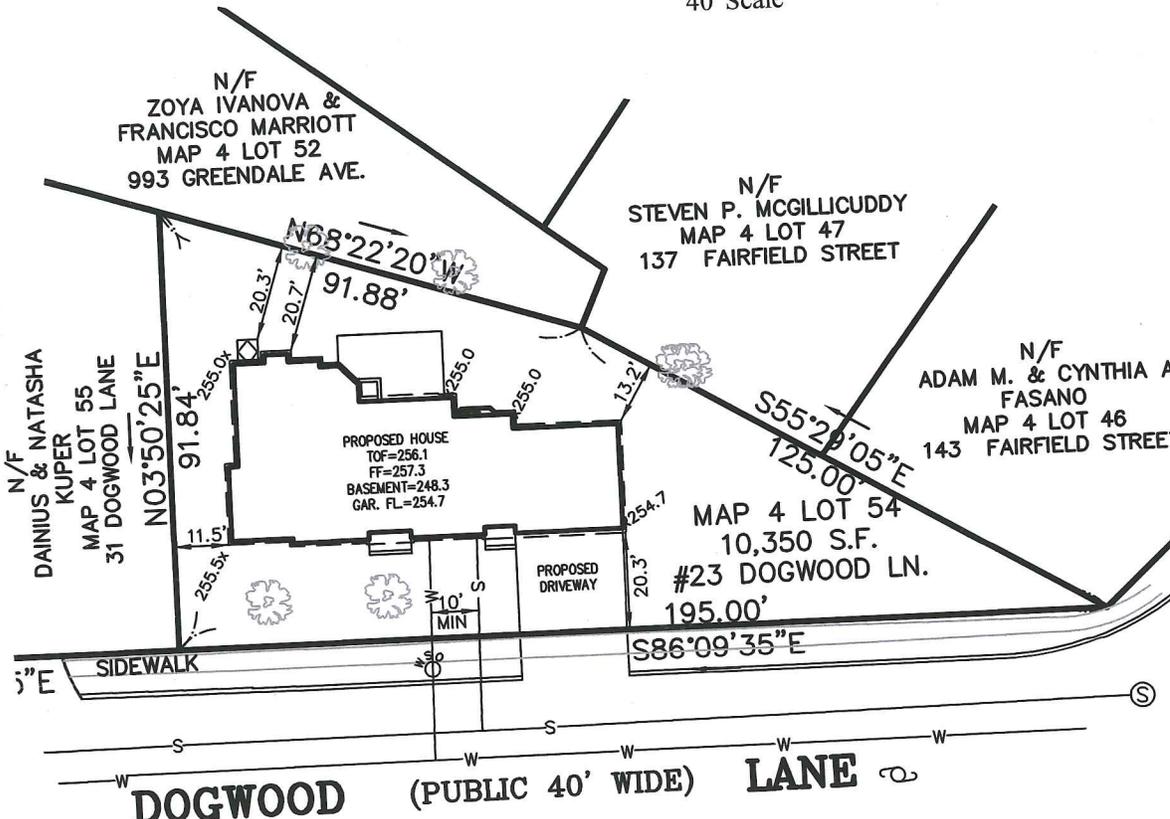
Assessor's Map & Parcel No. 4 LOT 54

Building Permit No. B120141442 At No. 23 DOGWOOD LANE

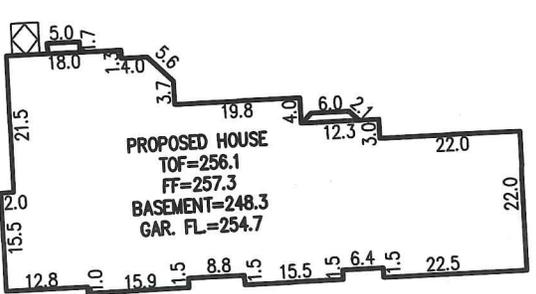
Lot Area 10,350 S.F. Zoning District SRB

Owner HILLCREST DEVELOPMENT Builder DAINIUS KUPER

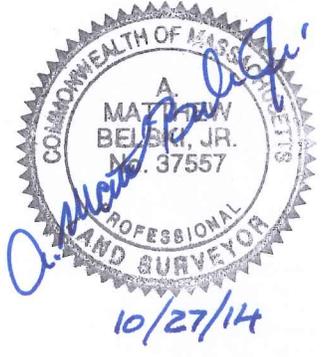
**PLOT PLAN**  
40' Scale



LOT COVERAGE=22.6%  
OPEN SPACE=72.8%  
HEIGHT OF PROPOSED DWELLING 34.9'  
FROM AVERAGE GRADE TO THE RIDGE OF ROOF



SCALE: 1"=30'



Note: Plot Plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at streetline and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
(\*Accessory structures may require a separate building permit — See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.  
The above is subscribed to and executed by me this 24 day of OCTOBER 20 14.  
Name A. MATTHEW BELSKI, JR. Registered Land Surveyor No. 37557  
Address 35 MAPLE ST. City W. NEWBURY State MA Zip 02459 Tel. No. (978) 363-8130  
Approved R.P. Merson Director of Public Works Date 12/2/14  
Approved Henry Foster Building Inspector Date 11.14.2014



23 Dogwood Lane

# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

Assessor's Map & Parcel No. 136-45

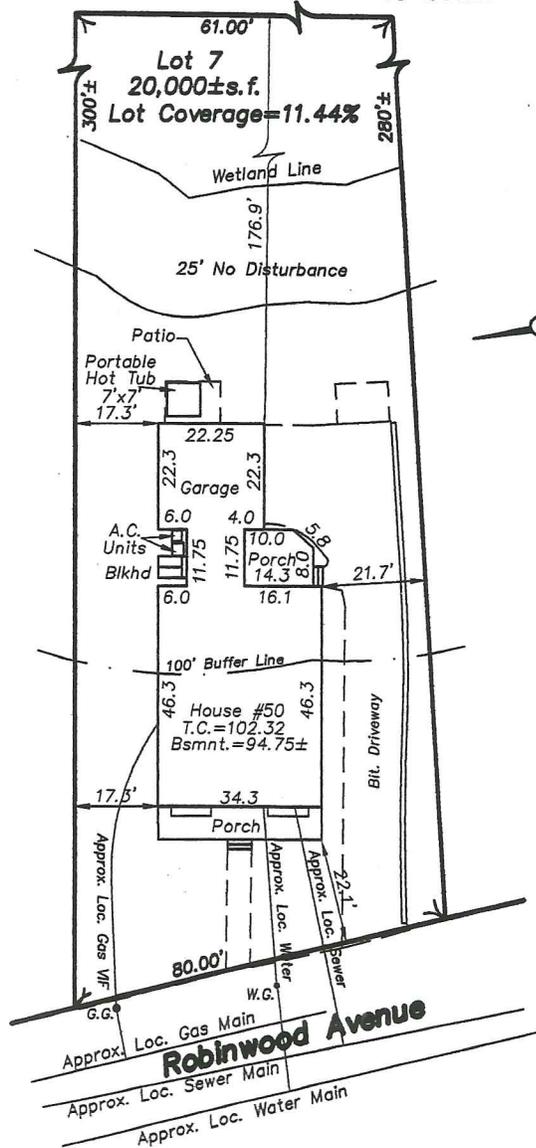
Building Permit No. \_\_\_\_\_ At No. 50 ROBINWOOD AVE

Lot Area 20,000± s.f. Zoning District SR "B"

Owner Needham Miller LLC Builder J. B. Construction corp

### PLOT PLAN

40' Scale



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(\*Accessory structures may require a separate building permit — See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this 12<sup>th</sup> day of December 2014.

Name Anthony M. Dellorco - Dellorco Assoc. Registered Land Surveyor No. 34303

Address 214 East St. City Foxboro State MA Zip 02035 Tel. No. 508-549-9965

Approved \_\_\_\_\_ Director of Public Works Date \_\_\_\_\_

Approved \_\_\_\_\_ Building Inspector Date \_\_\_\_\_



50 Robinwood Avenue

# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

Assessor's Map & Parcel No. MAP 30 PARCEL 92  
 Building Permit No. P120140222 At No. 99 ELLICOTT STREET  
 Lot Area 12,956 SF Zoning District SRB  
 Owner \_\_\_\_\_ Builder \_\_\_\_\_

PLOT PLAN  
40 Scale

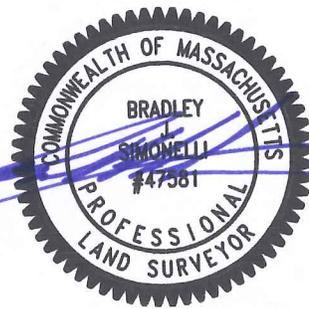
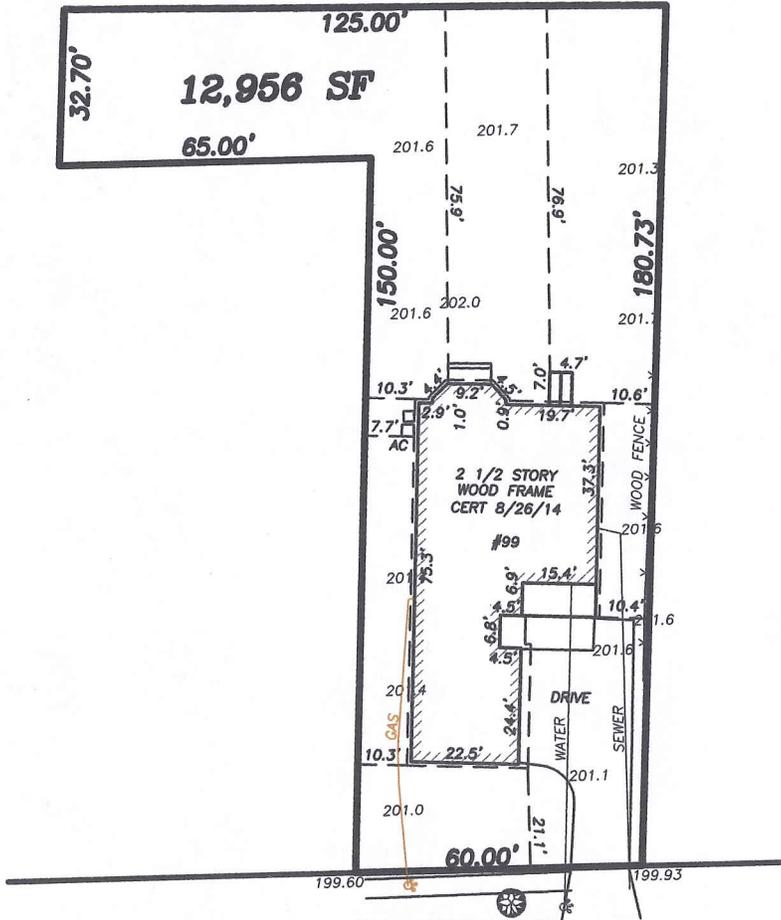
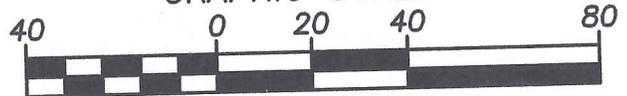
Field Resources, Inc.

LAND SURVEYORS

P.O. Box 324 281 Chestnut Street  
 Auburn, MA 01501 Needham, MA 02492  
 508 832 4332 781 444 5936  
 fieldresources@hotmail.com

LOT COVERAGE = 17.7%

GRAPHIC SCALE



**ELLICOTT STREET**

195-13

Note: Plot plans shall be drawn in accordance with Sections 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering streetline. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
 (\*Accessory structures may require a separate building permit - See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.  
 The above is subscribed to and executed by me this 27TH day of AUGUST 2014  
 Name Bradley J. Simonelli, PLS Registered Land Surveyor No 47581  
 Address 281 CHESTNUT ST City NEEDHAM State MA Zip 02492 Tel No 781-444-5936  
 Approved \_\_\_\_\_ Director of Public Works Date \_\_\_\_\_  
 Approved \_\_\_\_\_ Building Inspector



99 Ellicott Street





89 Fair Oaks Park