

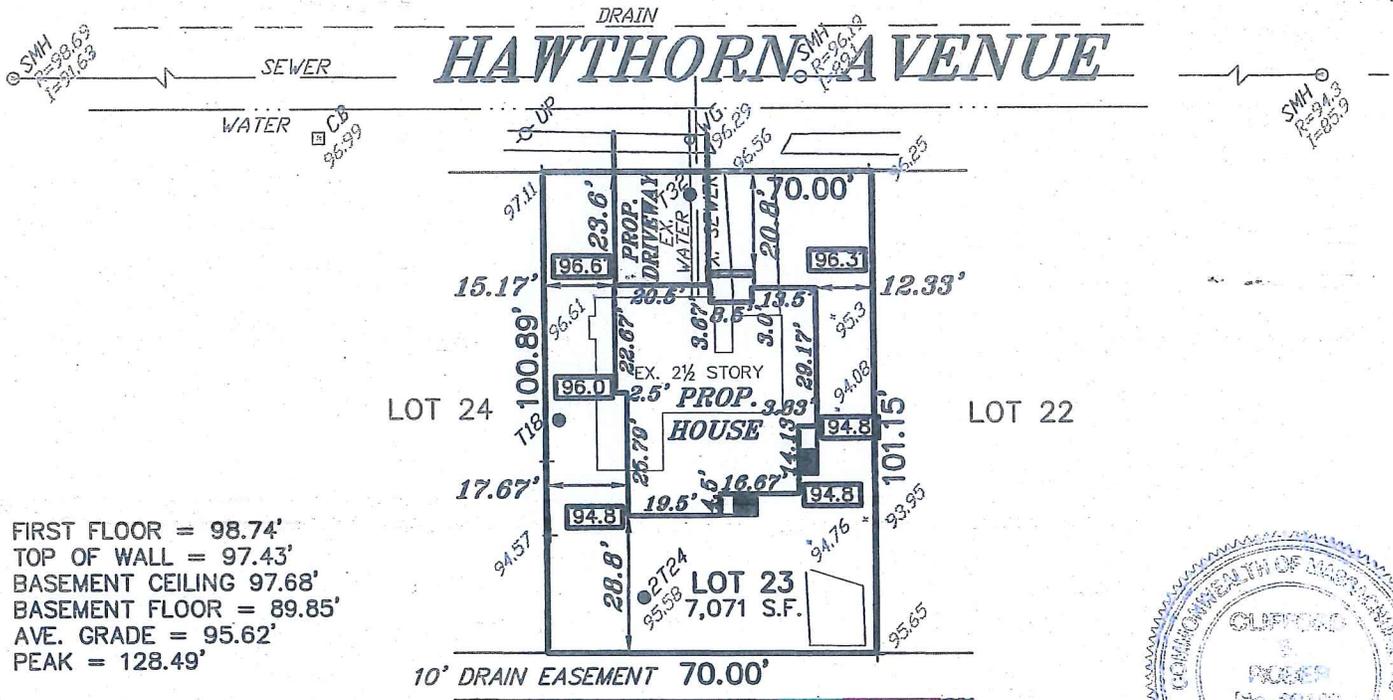
# TOWN OF NEEDHAM, MASSACHUSETTS

## Building Inspection Department

C04

Building Permit No. B120140028 At No. #29 HAWTHORN AVENUE  
 Lot Area 7,071 S.F. Zoning District SINGLE RESIDENCE B  
 Owner HAWTHORN INVESTMENTS LLC Builder HAWTHORN BUILDERS

**PLOT PLAN**  
40' Scale



FIRST FLOOR = 98.74'  
 TOP OF WALL = 97.43'  
 BASEMENT CEILING = 97.68'  
 BASEMENT FLOOR = 89.85'  
 AVE. GRADE = 95.62'  
 PEAK = 128.49'

PROPOSED LOT COVERAGE = 25.6%



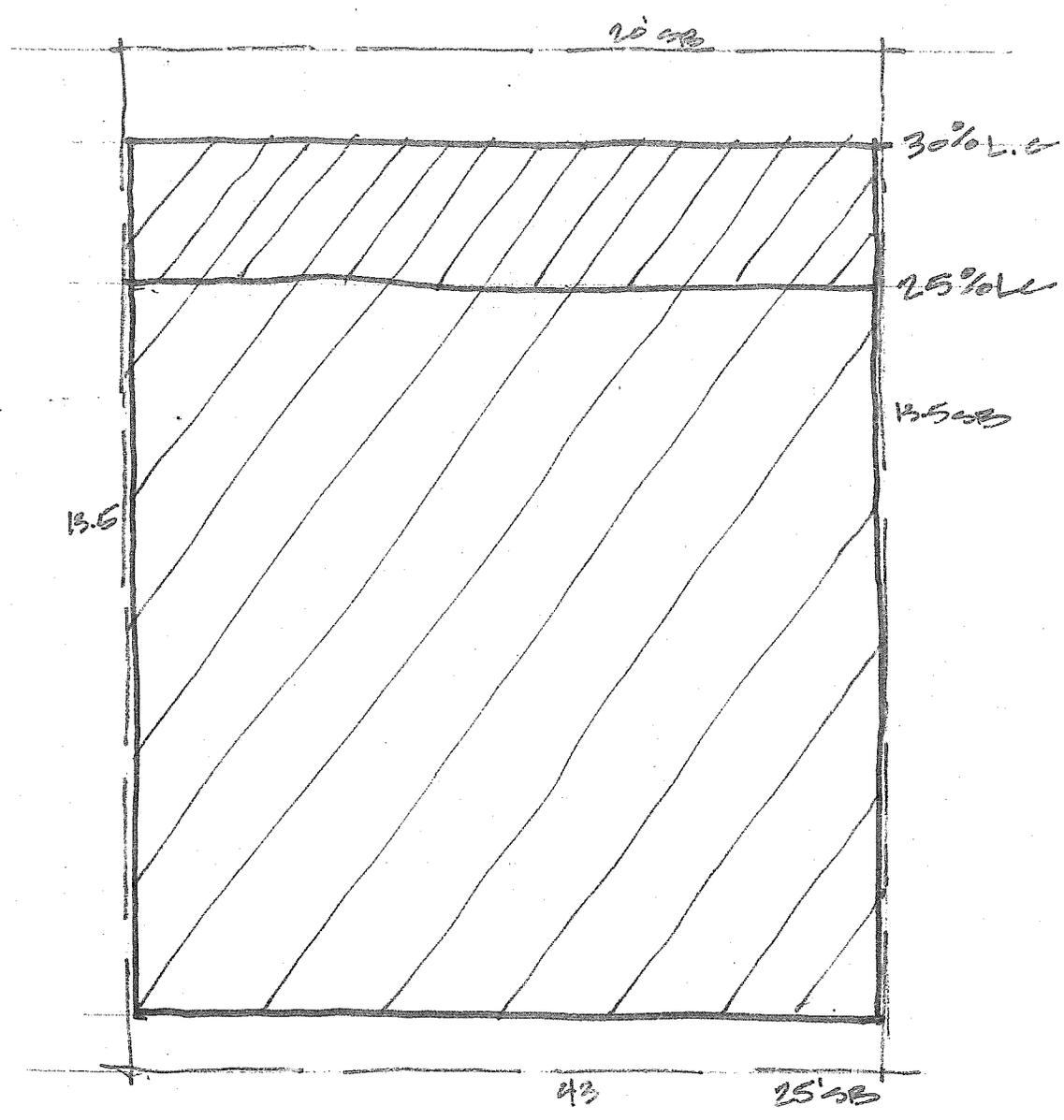
*Clifford E. Rober*  
R-4032

Note: Plot Plans shall be drawn in accordance with Section 7.2.1 and 7.2.2 of the Zoning By-Laws for the Town of Needham. All plot plans shall show existing structures and public utilities, including water mains, sewers, drains, gaslines, etc.; driveways, Flood Plain and Wetland Areas, lot dimensions, dimensions of proposed structures, sideline offsets and setback distances, (allowing for overhangs) and elevation of top of foundations and garage floor. For new construction, elevation of lot corners at street line and existing and approved street grades shall be shown for grading along lot line bordering street line. For pool permits, plot plans shall also show fence surrounding pool with a gate, proposed pool and any accessory structures\*, offsets from all structures and property lines, existing elevations at nearest house corners and pool corners, nearest storm drain catch basin (if any) and, sewage disposal system location in unsewered area.  
 (\*Accessory structures may require a separate building permit - See Building Code)

I hereby certify that the information provided on this plan is accurately shown and correct as indicated.

The above is subscribed to and executed by me this 12th day of SEPTEMBER, 20 13.

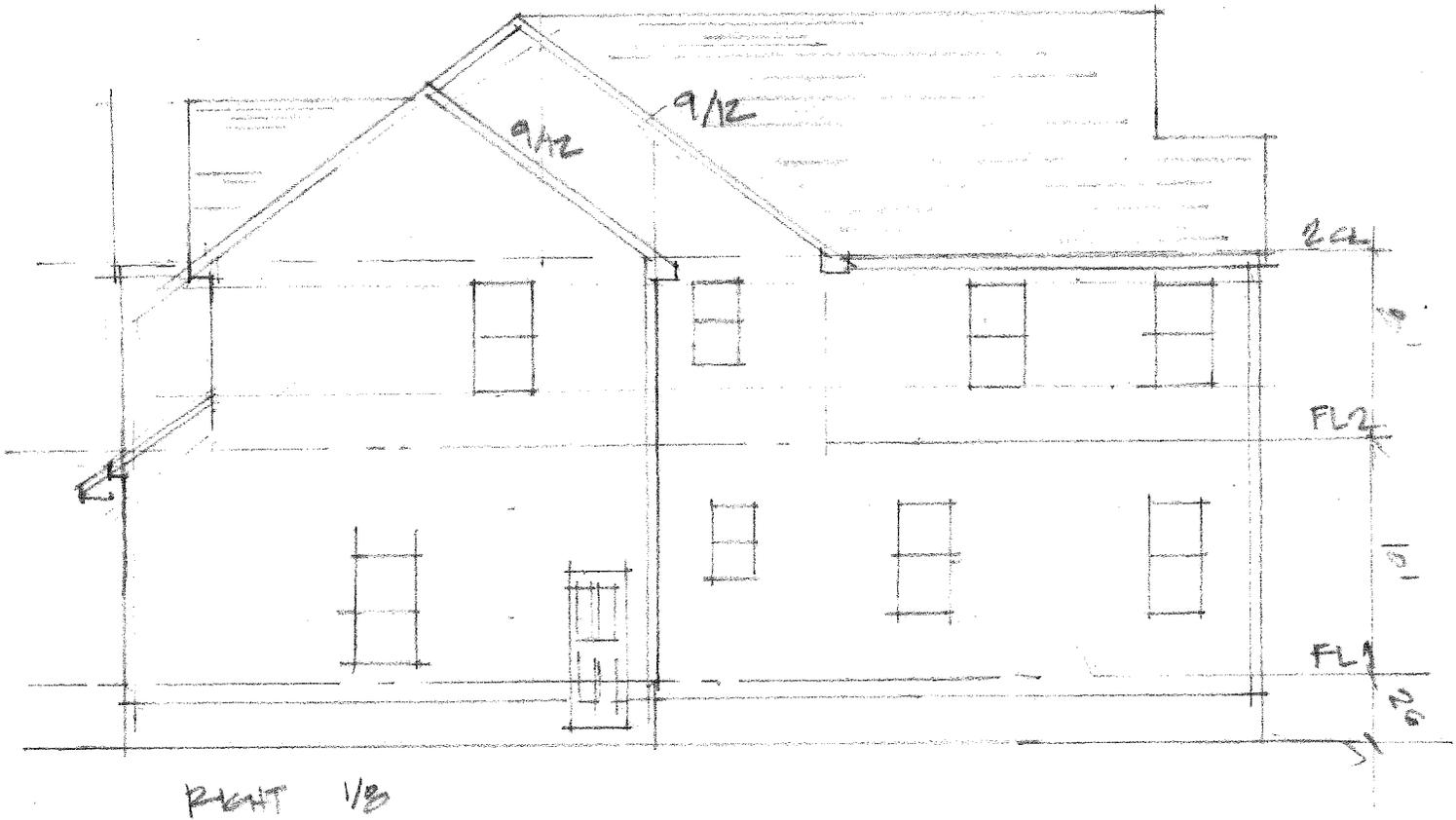
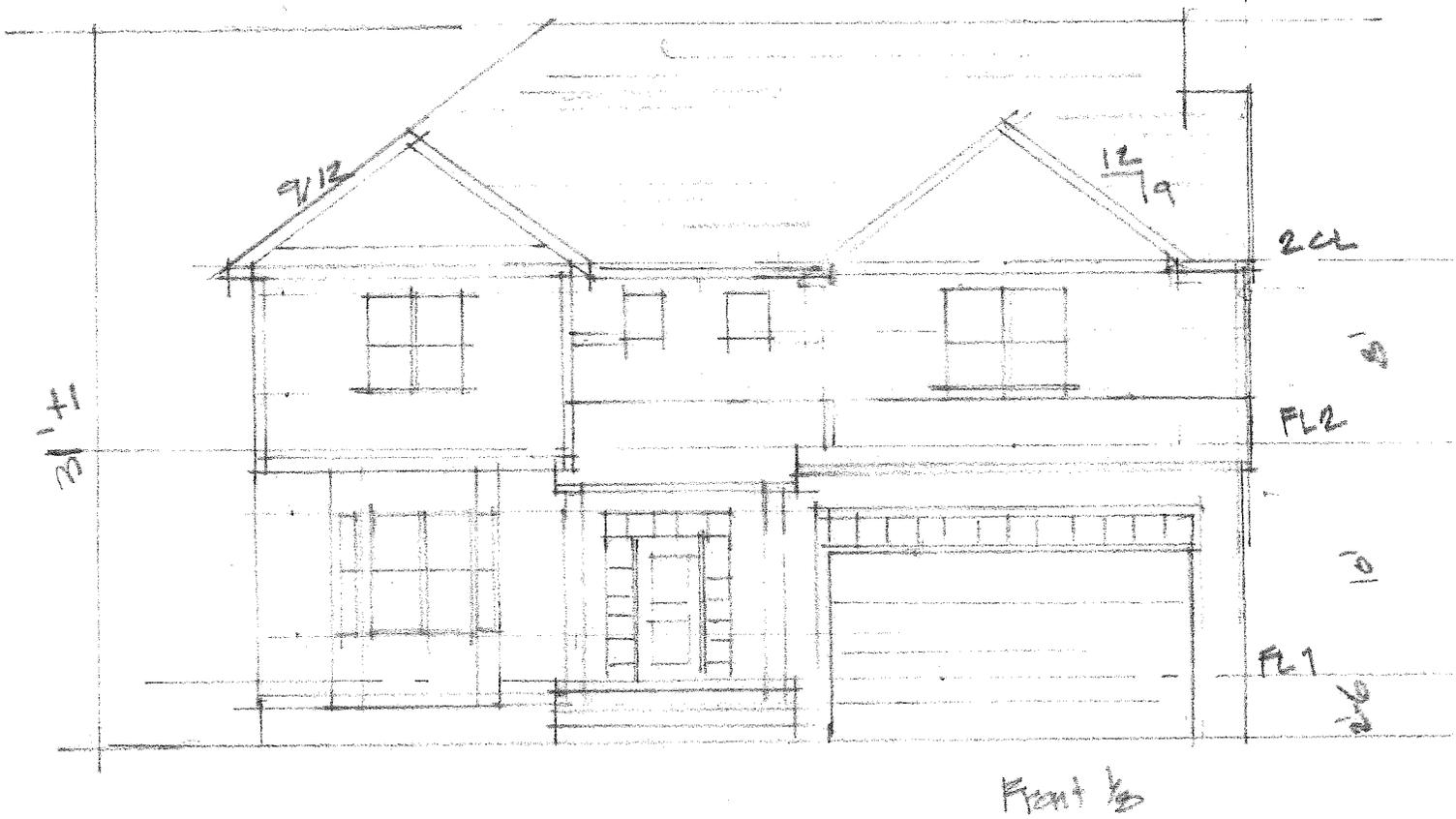
Name CLIFFORD E. ROBER Registered Land Surveyor No. 33189  
 Address 1072A MASSACHUSETTS AVENUE City ARLINGTON State MA Zip 02476 Tel No. (781)648-5533  
 Approved \_\_\_\_\_ Director of Public Works Date \_\_\_\_\_  
 Approved \_\_\_\_\_ Building Inspector Date \_\_\_\_\_

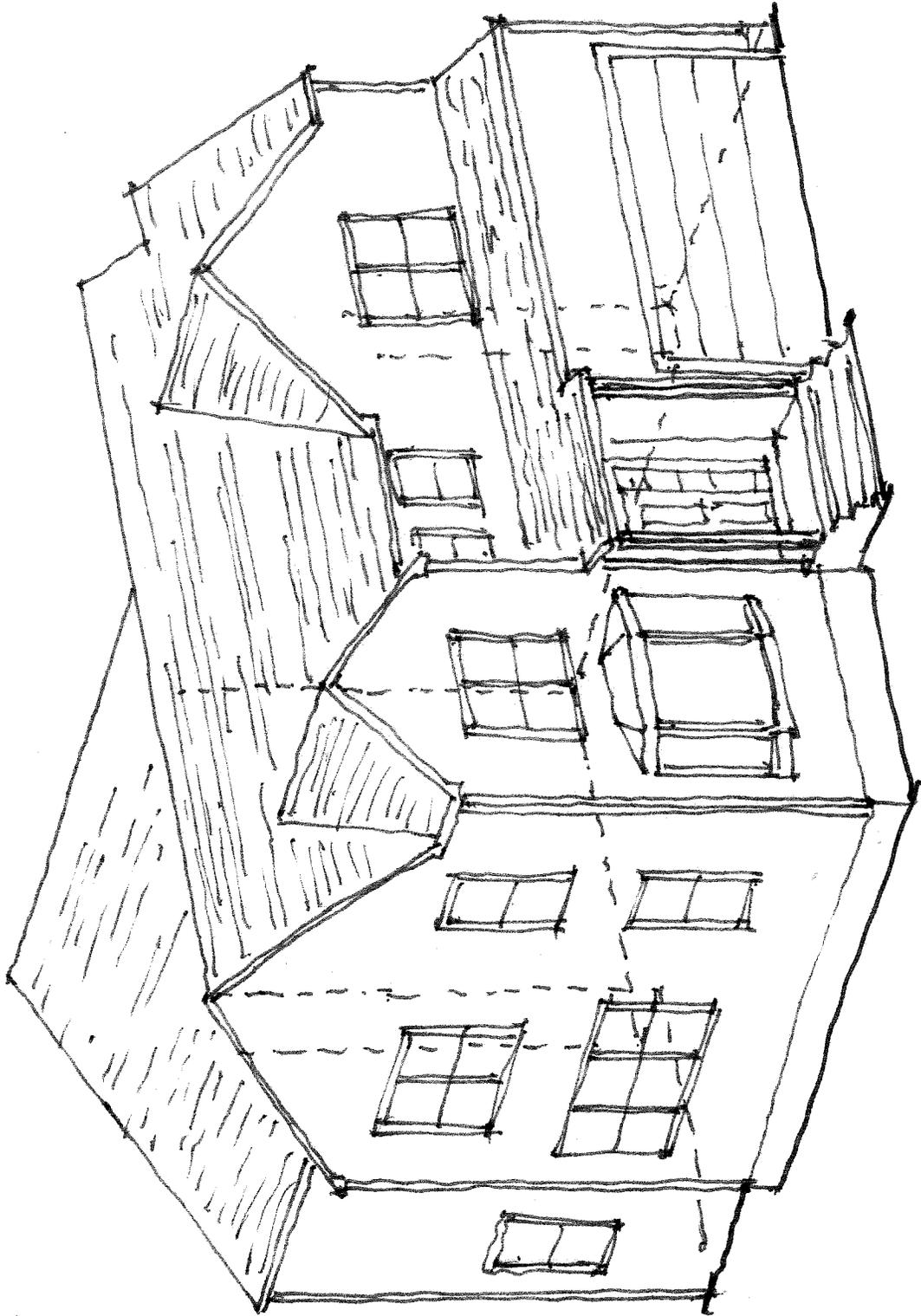


LGE HOUSE STUDY  
 7071 sq Lot  
 25% L.C. 1767 sq  
 30% L.C. 2121 sq

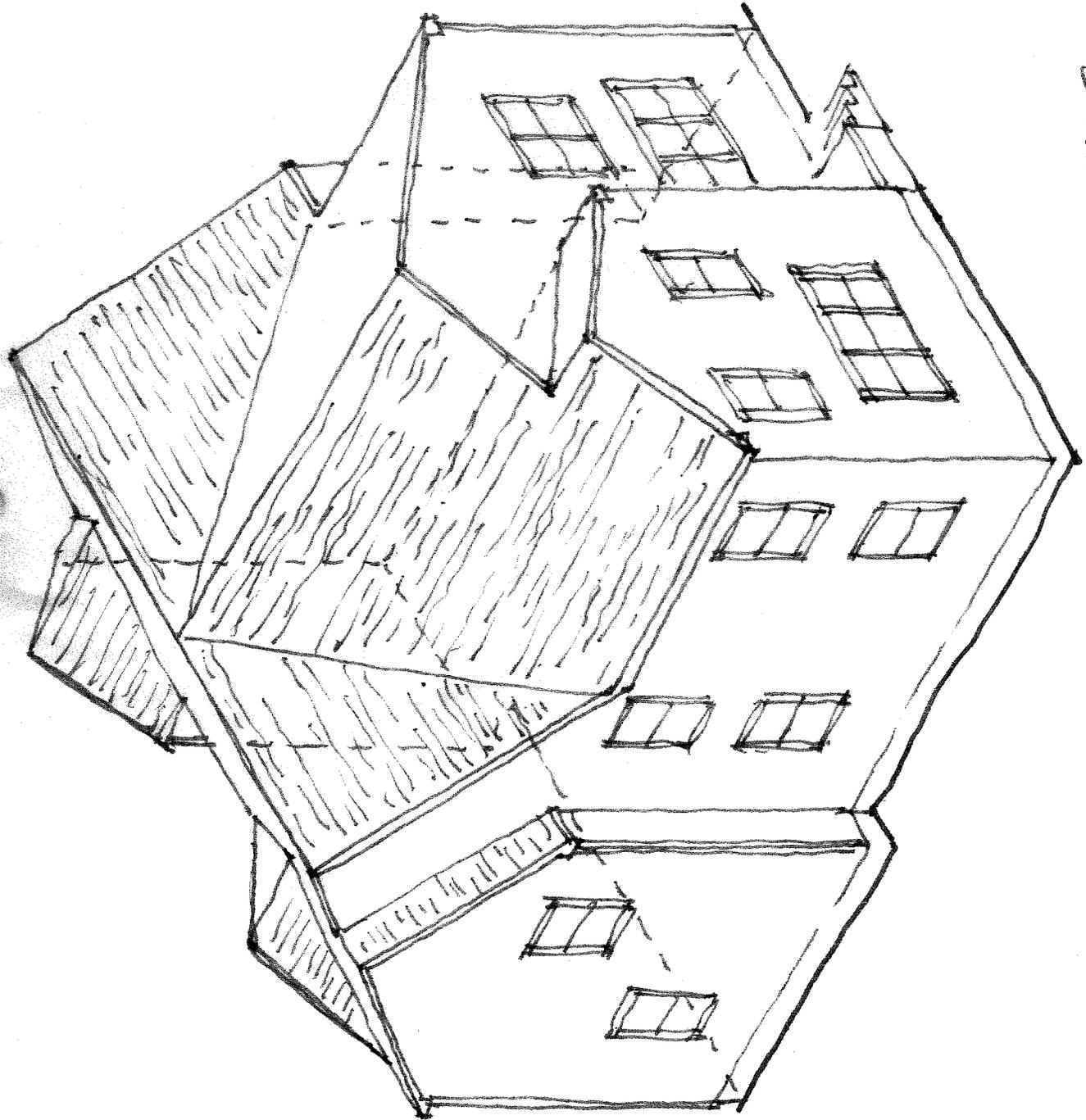


LGE HOUSE STUDY  
25% COVER  
7071 SF LOT

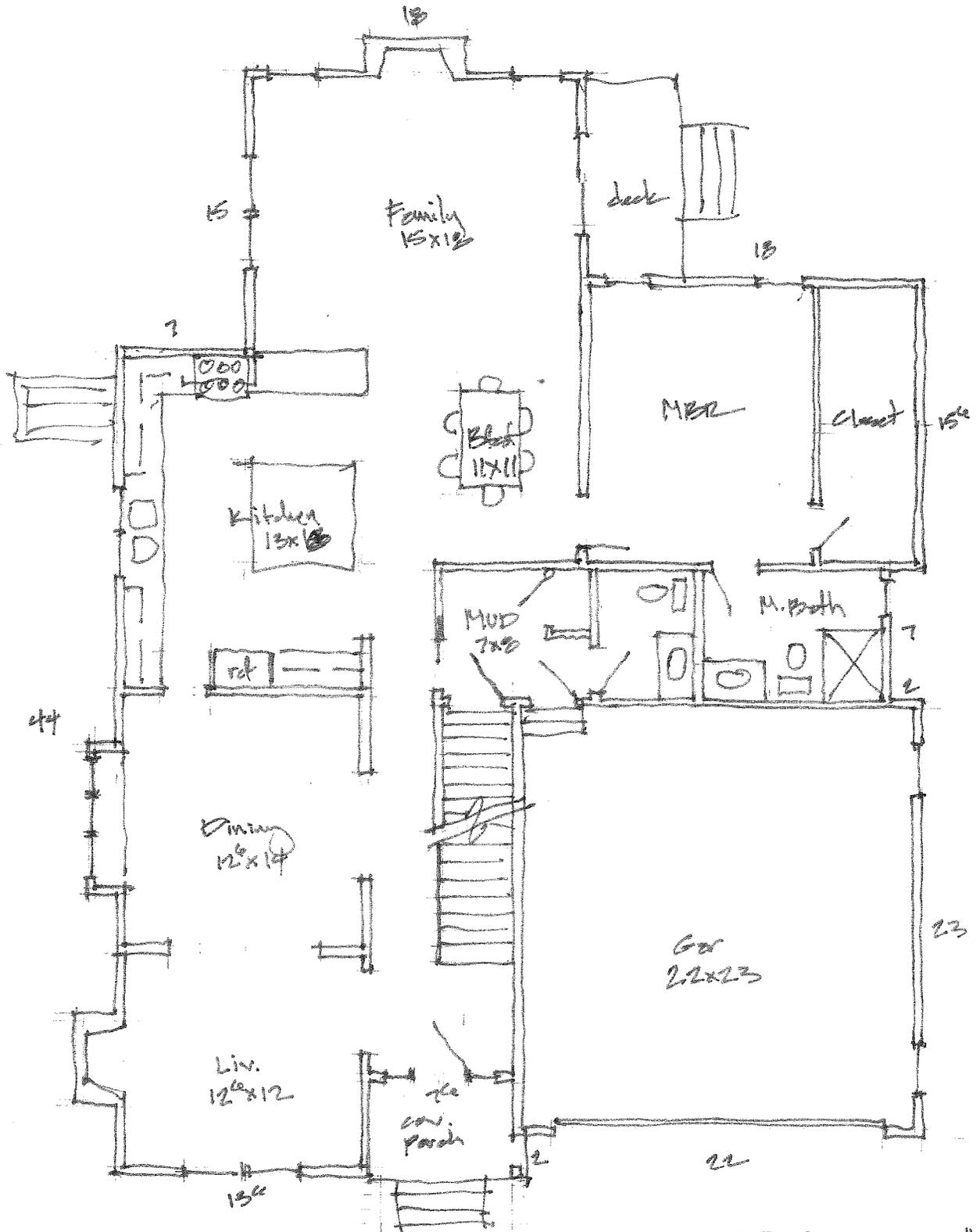




7700-FLAT FRONT  
25% COVERAGE

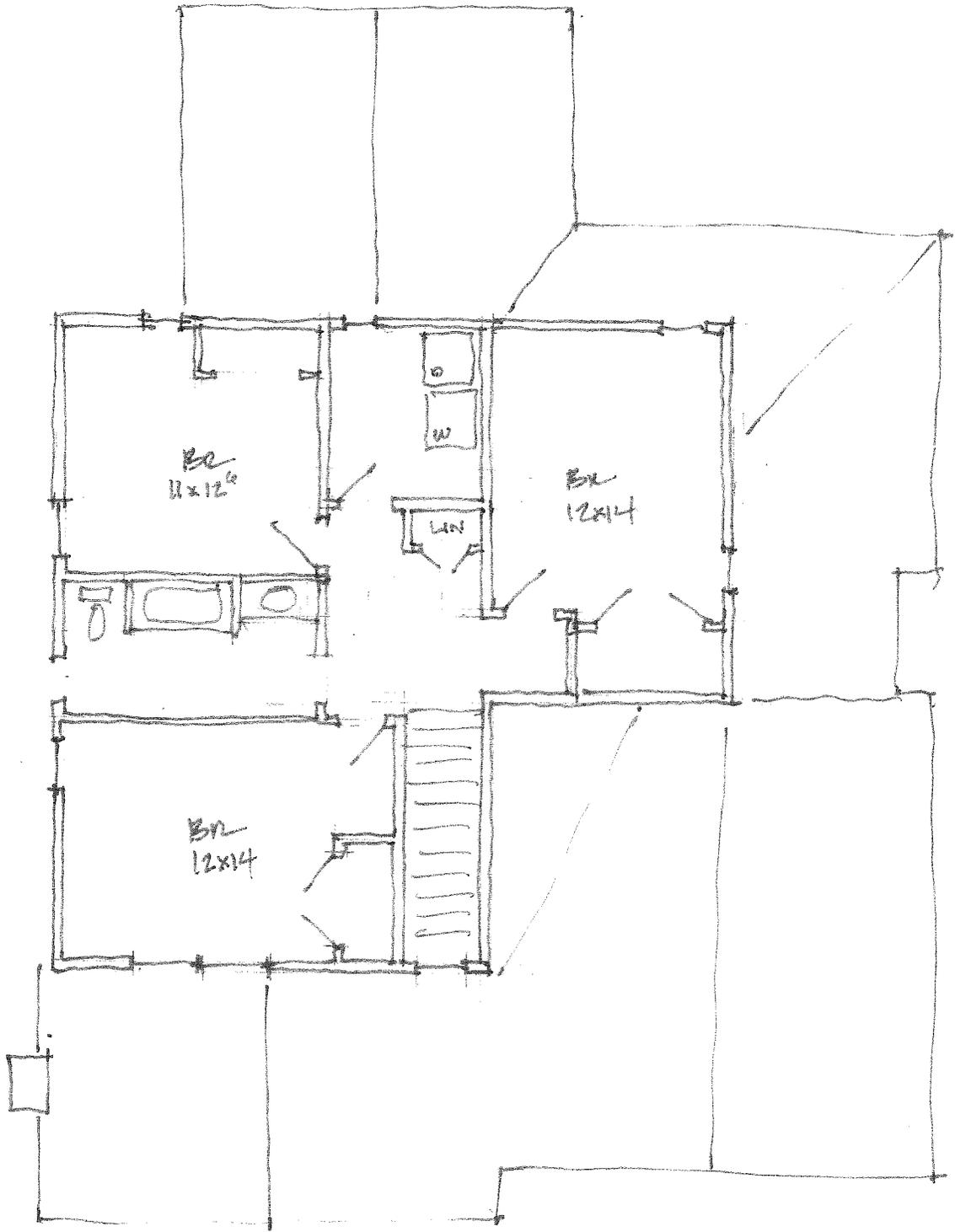


7700 SF LOT REAR  
75% COVERAGE



LCE HOUSE STUDY  
 7071 st lot  
 38% FAR = 2685 + 600 gar allowed  
 2510 + 505 gar. built  
 30% L.C. = 2121 + 600 gar = 1621

1st FLOOR 1/8"  
 1580 s.f., 500 s.f. gar  
 20% lot cover



LGE HOUSE STUDY  
 30% PER  
 20% L.C.

2<sup>ND</sup> FLOOR 1/2"  
 930 sq.

L&E HOME STUDY  
30% LOT COVER 2071 of LOT  
33% FAR



200

100

FL2

10

FL1

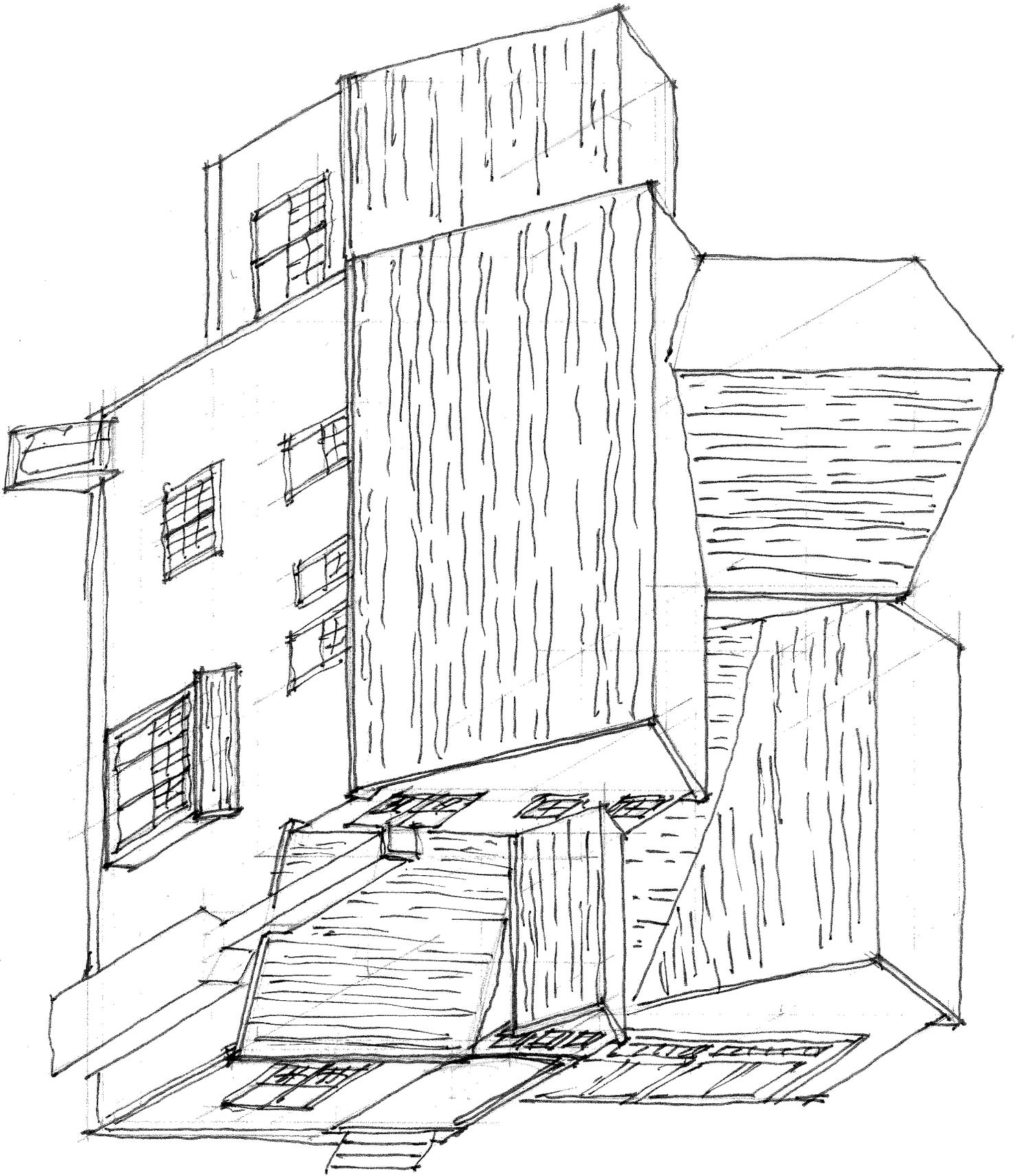
FRONT  $\frac{1}{2}$ "



200

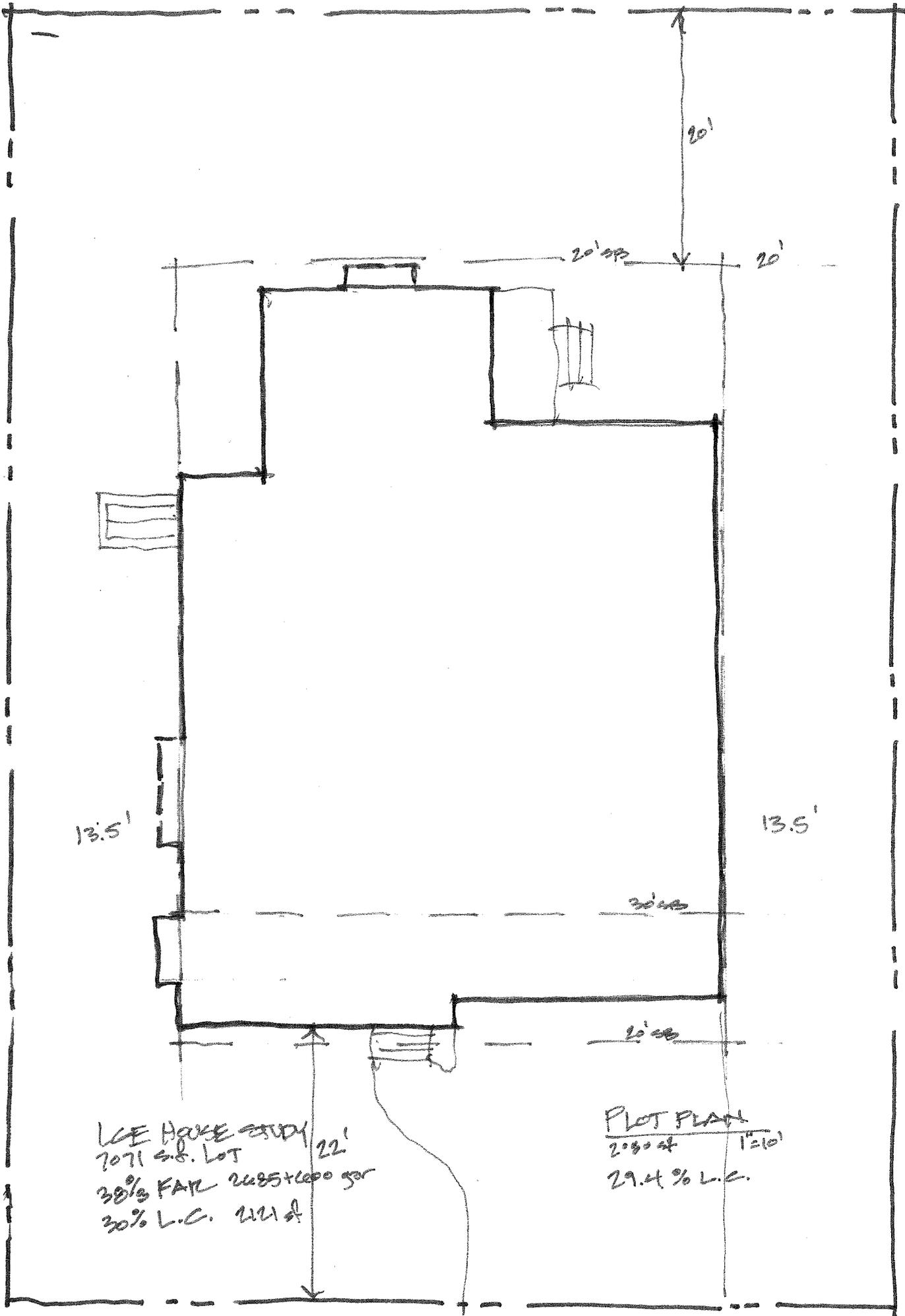
FL

LEFT  $\frac{1}{2}$ "



W.E. House study  
7071 sq ft  
38% FAR  
30% L.C.

ISOMETRIC - 1/8"  
2510 sq + 500 sq gar



LCE HOUSE STUDY  
 7071 sub. LOT  
 38% FAR 2485+1000 sq ft  
 30% L.C. 2121 sq ft

PLOT PLAN  
 2080 sq ft 12' x 20'  
 29.4% L.C.